



Google Earth

2023-11-20
DP

No.	Date	Revision

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1	2023-11-20	Issued DP

Project Title
**GALLAGHERS'S CANYON
 DEVELOPMENT
 CONDO**
 4500-4680 GALLAGHERS DRIVE EAST



Consultant Seal

233 BERNARD AVENUE
 KELOWNA, B.C.
 V1Y 0N2
 TEL: 250.762.3004
 EMAIL: kel-mai@shaw.ca



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Date	2023-11-20
Job No.	m+m 19-1870
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Drawing Title
LOCATION PLAN

Drawing Number

A0.00

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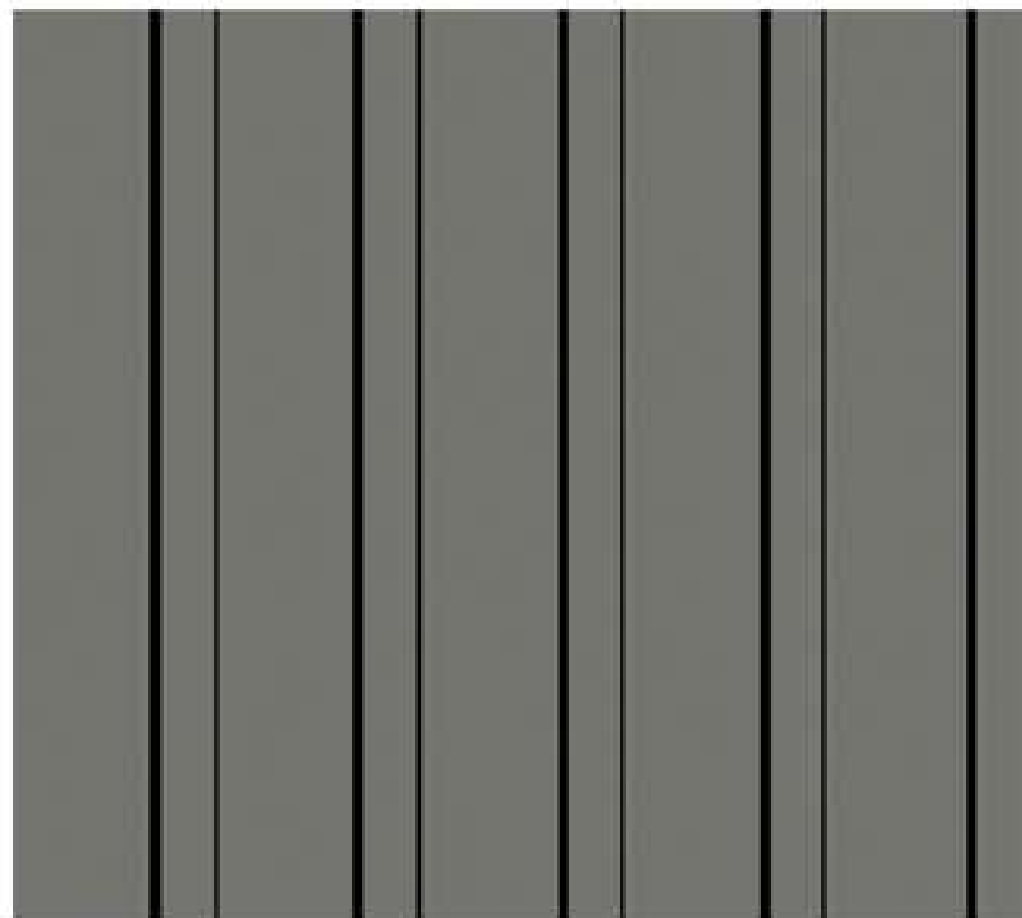




timberline - slate ardoise



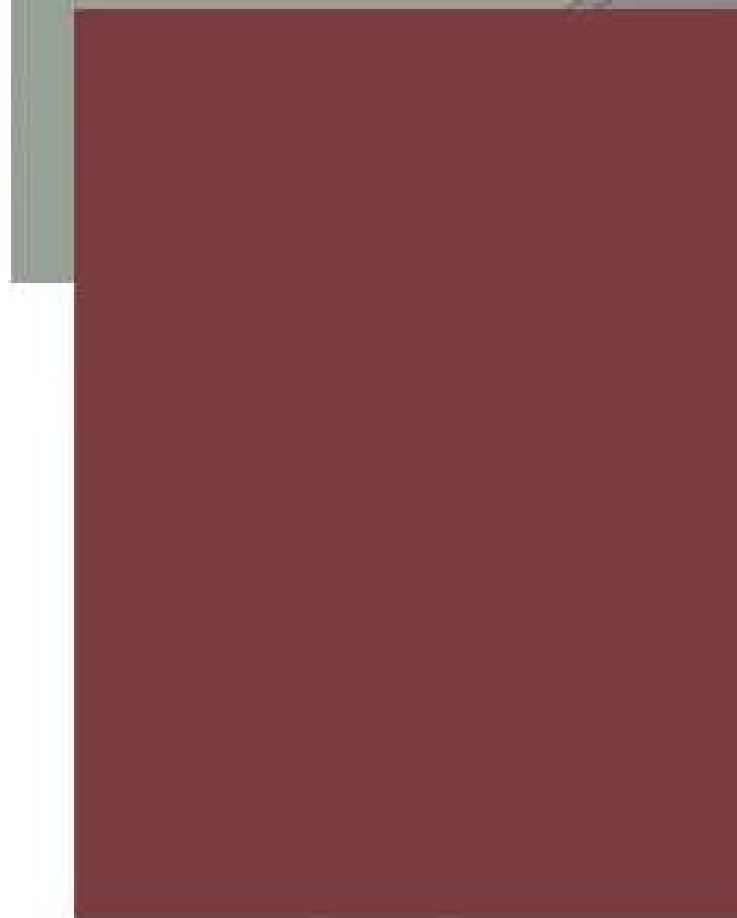
eldorado stone - mesquite



hardie - aged pewter



walnut wood stain



pomegranate AF-295



hardie - grey slate



titanium OC-49



hardie - iron gray



condo front entry



retail facade with stone base & wood posts





REQUIRED FIRE SEPARATIONS		3.1.3.1.
MAJOR OCCUPANCIES	CONDO	
GROUP C TO C	1 HR	3.3.1.1.
GROUP F3 TO C	1.5 HR	
GROUP E TO C	2 HR	
SERVICES ROOMS	1 HR	3.6.2.
JANITOR ROOM	Non-Rated Fire Separation	

BUILDING FIRE SAFETY		
SOFFIT PROTECTION	N/A	3.2.3.16.
FLAME SPREAD RATINGS	COMPLY WITH	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS 'A'	3.1.15.2.
ATTIC FIRESTOPS	YES	3.1.11.
MAX. ATTIC AREA	300 sm	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.5.

ACCESSIBILITY REQUIREMENTS		
	CONDO:	
	REQUIRED	PROVIDED
ACCESS TO MAIN ENTRANCES	YES	YES
ACCESS TO ALL FLOORS	NO	YES
ACCESSIBLE WASHROOM	NO (YES @ CRU)	NO (YES @ CRU)

WASHROOM FIXTURES REQUIREMENTS	
MIN. 1 REQ'D./DWELLING UNIT	3.7.2.2.(11)
WASHROOM REQUIREMENTS FOR CRU TO BE CONFIRMED BY FUTURE TENANT	

CONDO SPATIAL SEPARATION				3.2.3.1.D
	NORTH / REAR WALL	EAST / SIDE WALL	SOUTH / FRONT WALL	
WALL AREA	±34sm	±26.3sm		window openings & walls construction un-restricted, limiting distance exceeds 7.0m (residential) or building faces a street in accordance with 3.2.3.10.(2)
OPENING AREA	±13.8 sm	±8.0 sm		
% PROVIDED	±40.6%	±30.4%		
LIMITING DISTANCE	2.9 m	4.9 m		
% PERMITTED	±41.4%	±97.8%		
CONSTRUCTION TYPE	COMBUST./NON-COMBUST.	COMBUST./NON-COMBUST.		
CLADDING MATERIAL	NON-COMBUSTIBLE	NON-COMBUSTIBLE		
REQUIRED RATINGS	45 MINUTES	45 MINUTES		

BUILDING CODE REVIEW					BCBC 2018
OCCUPANCY	GROUP C	GROUP F3 / GROUP E			
ARTICLE	3.2.2.50	PARKADE / CRU			
NO. OF STOREYS	3 STOREY	3 STOREY			
NO. OF STREETS FACING	1				
BUILDING AREAS:	PROPOSED	CODE MAX.	PROPOSED	CODE MAX.	
	1,498 sm	3,000 sm	1,498 sm	3,000 sm	
CONSTRUCTION TYPE	COMBUST./NON-COMBUST.	COMBUST./NON-COMBUST.			
SPRINKLERED	YES				
ASSEMBLY RATINGS:					
FLOOR	1 HR	1.5 HR (2 HR @ CRU)			
WALLS / BEARING STRUCTURE	1 HR	1.5 HR (2 HR @ CRU)			
ROOFS	1 HR	1.5 HR (2 HR @ CRU)			

FIRE PROTECTION:				3.2.4./ 3.2.5./ 3.2.6.
LOCATION OF HYDRANT :	CONDO	45 m MAX. TO SIAMESE CONNECTION		3.2.5.15.
STANDPIPE/HOSE	YES			3.2.5.8.
SPRINKLERED	YES (NFPA 13)			
FIRE ALARM SYSTEM	YES			3.2.4.1.(2)(f)
EXIT LIGHTS	YES			
EMERGENCY LIGHTING	YES			

OCCUPANT LOAD			TABLE 3.1.17.1.
CONDO			
PARKADE LEVEL 0	46sm / PERSON X 1,311sm		29 PERSONS
RESIDENTIAL			
LEVEL 1	2 PERSONS / SLEEPING RMS x 16 RMS		32 PERSONS
LEVEL 2	2 PERSONS / SLEEPING RMS x 21 RMS		42 PERSONS

EXIT FACILITIES		
CONDO REQUIRED EXITS	2 MIN. PER FLOOR	3.1 to 3.6
	min. 800mm door width as per 3.4.3.2.(A)	min. 1100mm stair width as per 3.4.3.2.(A)
PROVIDED	DOOR	STAIR
	6.1mm / person min. 2 doors @ 3'-0" width = 1823mm min.	8.0mm / person 2 stairs @ 3'-10" width per floor = 7'-8" (2337mm)
CONDO - BUILDING 1		
PARKADE LEVEL 0	6.1 x 29 persons = 177mm	8.0 x 29 persons = 232mm
RESID LEVEL 1	6.1 x 32 persons = 195mm	8.0 x 32 persons = 256mm
RESID LEVEL 2	6.1 x 42 persons = 256mm	8.0 x 42 persons = 336mm
RESIDENTIAL UNITS	min. 1 door @ 800mm (each unit)	36" (914mm) door @ each unit
CONDO		
EXIT THROUGH LOBBY	YES	
PANIC HARDWARE REQ'D	YES (at exterior stair & lobby doors - condo only)	3.4.6.16.(2)
EXIT EXPOSURE	OK	3.2.3.13.
MAX. TRAVEL DISTANCE	Condo = 45m	3.4.2.5.(1)
EXIT RATINGS REQUIRED:		
STAIR SHAFTS	1 HR (1.5 HR @ Parkade)	3.4.4.1.
CORRIDORS	1 HR	3.3.2.6.(4)

CONDO NFA							
	type	L1	L2	unit count	area sf	area sm	total area sm
2b	A1	2	2	4	964	89.6	3,856
1b	A2	-	1	1	820	76.2	820
1b	A3	1	1	2	923	85.7	1,846
2b	B1	1	1	2	1,130	105.0	2,260
3b	B2	1	1	2	1,623	150.8	3,246
2b	B3	1	1	2	1,244	115.6	2,488
2b	B4	1	1	2	1,179	109.5	2,358
2b	B5	-	1	1	1,070	99.4	1,070
2b	B6	-	1	1	1,215	112.9	1,215
2b	B7	1	1	2	1,152	107.0	2,304
SUBTOTAL		8	11	19			21,463
CRU							1,993
GOLF & COFFEE							1,848
							172
TOTAL							23,311

CONDO GFA			
	±sf	±sm	
LEVEL 2 CRU	1,848	172	
LEVEL 2 RESID	11,835	1,100	
LEVEL 3	14,441	1,342	
SUBTOTAL	28,124	2,613	
LEVEL 0 PARKADE (SCOOTER RM/ STORAGE LOCKERS)			14,112
			1,311

COMMON & RESID. AMENITY SPACE				14.11 (pg 155)
Page 144				
4.0 sm per unit of common and private amenity space, accessible to all residents and not located within required setback areas.				
CONDO				
	sm		total sm	
bachelor	7.5		Subtotal	445
1 bed	15.0			
1 bed or more	25.0			
			Required amenity (include common amenity)	445.0
			Required common amenity = 4.0 sm x 19	76.0

CONDO					
CONDO		PRIVATE AMENITY	COMMON AMENITY		
PROVIDED		sf	sm	sf	sm
Common Landscape Area				15,137	1,406.3
LEVEL 0					
bike repair / pet wash / storage locker				680	63.2
scooter room				861	80.0
		LEVEL 1 balconies	1,790	166	
		LEVEL 2 balconies	1,559	145	
PROVIDED			3,349	311	16,678
					1,549

CONDO		
Required Max. Building Area	sm	sf
Proposed Building 1 Footprint Area	3,000	32,291
Include projection of building above	1,498	±16,119

Condo - Parking calculations						(table 8.2.7 & 8.3)
STALL SIZE	WIDTH	LENGTH	HEIGHT			
REGULAR SIZE STALL	8'-3"	2.5m	19'-8"	6.0m	6'-7"	2.0m
SMALL SIZE STALL (50% max)	7'-6"	2.3m	15'-9"	4.8m	6'-7"	2.0m
ACCESSIBLE STALL	12'-10"	3.9m	19'-8"	6.0m	6'-7"	2.3m
VAN ACCESSIBLE STALL	15'-9"	4.8m	19'-8"	6.0m	7'-7"	2.3m
REGULAR PARALLEL STALL	8'-7"	2.6m	23'-0"	7.0m	7'-7"	2.3m
SMALL PARALLEL STALL	8'-3"	2.5m	21'-4"	6.5m	6'-7"	2.0m
DRIVE AISLES (2-way 90° pkg)	21'-4"	6.5m	-	-	6'-7"	2.0m
LOADING AREA	28 sm	3.0 m width	4.0 m overhead clear			

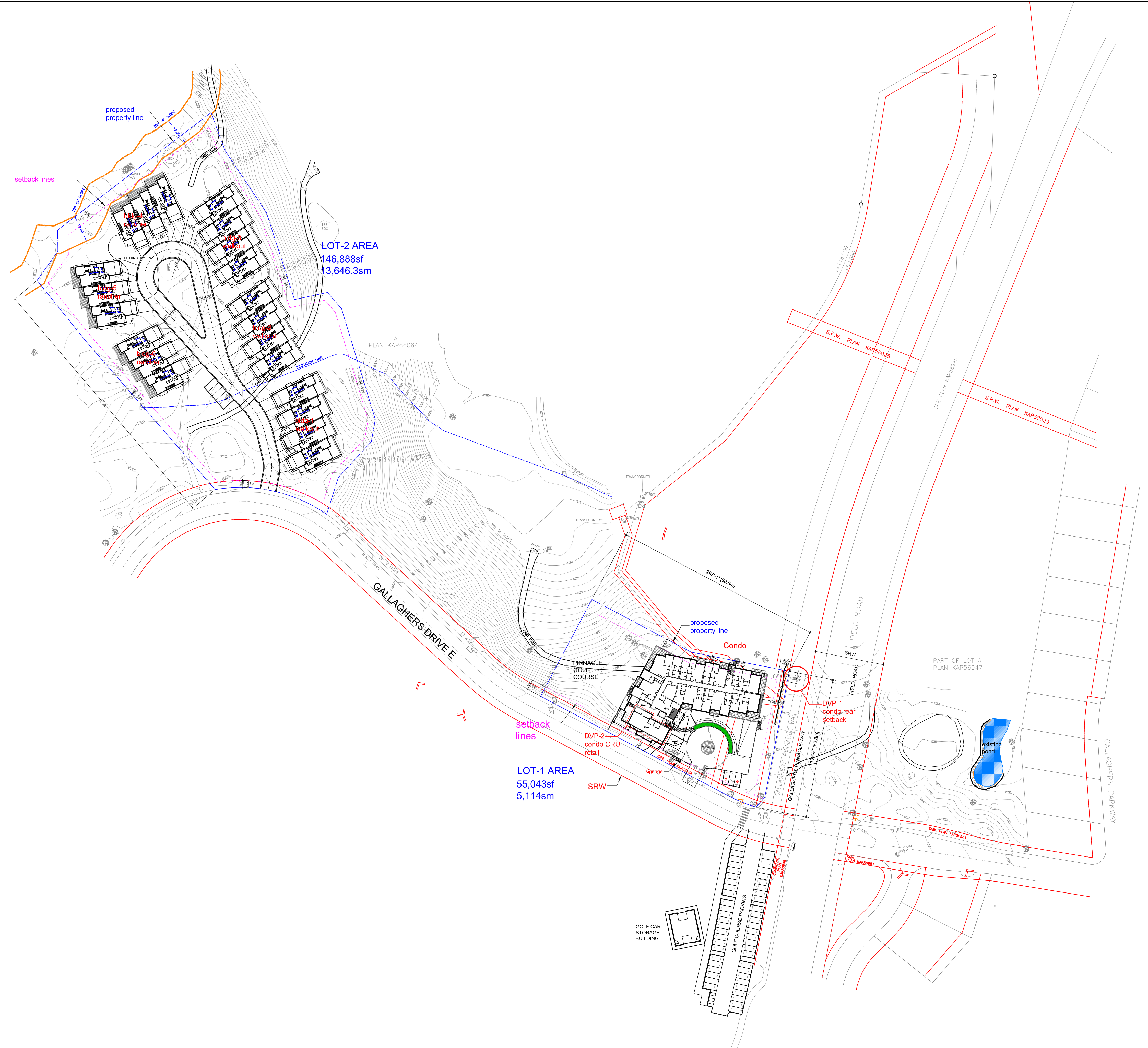
Parking & Loading area (pg 90)									
RESID.	min.	max.	type	no of unit	no of bed	stall per unit	total stall		
bachelor	1.0	1.25	A1	4	2b	1.5	6.0		
1b	1.25	1.6	A2	1	1b	1.25	1.25		
2b	1.50	2.0	A3	2	1b	1.25	2.5		
3b or bigger	2.0	2.50	B1	2	2b	1.5	3.0		
			B2	2	3b	2.0	4.0		
			B3	2	2b	1.5	3.0		
			B4	2	2b	1.5	3.0		
			B5	1	2b	1.5	1.5		
			B6	1	2b	1.5	1.5		
			B7	2	2b	1.5	3.0		
Subtotal				19			28.75		
VISITOR									
visitor - 0.14 / unit				19 unit x 0.14					
Required Visitor							2.7		
CRU									
Required CRU					sf	sm			
GFA less than 1,000sm					1,848	172			3.4
2 spaces per 100sm									
TOTAL REQUIRED									34.85

TOTAL PROVIDED							35.0
Provided	Parkade Full	Grade Full	HC	Grade HC Van	Grade Visitor	SUBTOTAL	
	3	-	-	1	3		
	11						
	5						
	12						
	3						
Total	31	-	-	1	3		35.0

CRU Loading area (Table 8.4)	
Required	1 per 1,900 sm GFA
Provided	1 (size: 30' 0" x 10' 0")

BICYCLE PARKING										8.5 (pg 97)
REQUIRED LONG TERM										
TYPE	#UNIT	#BED	#BIKE	REQUIRED BIKE	BIKE SIZE STALL	width	length			
					LONG TERM	24"	0.6m	72"	1.8m	
						bachelor, 1b, 2b = 0.75				
						3b = 1.0				
A1	4	2b	0.75	3.00	SHORT TERM	6 per entrance				
A2	1	1b	0.75	0.75						
A3	2	1b	0.75	1.50	PROVIDED LONG TERM					
B1	2	2b	0.75	1.50	wall mount bike in front of car					
B2	2	3b	1.00	2.00	ground anchored rack (bylaw 8.5.6)					15
B3	2	2b	0.75	1.50						
B4	2	2b	0.75	1.50	Total					15
B5	1	2b	0.75	0.75	PROVIDED SHORT TERM (1 ENTRANCE)					6
B6	1	2b	0.75	0.75						
B7	2	2b	0.75	1.50						
CRU (0.2 per 100sm GFA)				0.35						
TOTAL				15.10						
TOTAL REQUIRED				15.0						

ZONING SUMMARY		
GALLAGHERS DRIVE E		
ADDRESS	4500 - 4680 GALLAGHERS DRIVE EAST	
LEGAL DESCRIPTION	PART OF LOT A & AN UNDIVIDED 1/24th SHARE IN LOT G PLAN KAP53116 SECTIONS 1 & 12 TOWNSHIP 26 ODYD PLAN KAP66064	
DEVELOPMENT PERMIT AREA	YES	
EXISTING ZONING	P3 - PARKS & OPEN SPACE	
PROPOSED ZONING	MF3 - APARTMENT HOUSING	
EXISTING ZONING USE	SINGLE FAMILY RESIDENCE	
GRADES	EXISTING AVERAGE - SLOPE	
NUMBER OF NEW BUILDINGS	ONE	
MF3 - APARTMENT HOUSING		
CRITERIA	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	30.0m	±90.5m
MINIMUM LOT DEPTH	30.0m	±60.8m
MINIMUM LOT AREA	1,400sm	±55,043sf
MAXIMUM LOT AREA	N.A.	±5,114sm
Table 8.3 off-street parking	CONDO	28.8
	VISITOR	2.7
	CRU	3.4
	TOTAL	34.8
Coverage	max site coverage of all buildings = 65%	28.2%
	max site coverage of all buildings, structures and impermeable surfaces = 85%	40.5%
Max. density	max base FAR = 1.3	2,164 sm / site area = 0.42
Max. height	max. base height 18m & 4 storeys	3 storeys & 10.0m
Min front yard and flanking side yard setback	4.5m	condo = ±4.91m
Min building setback from front yard and flanking side yard	3.0m	N.A.
Min side yard setback	3.0m	±8.33m
WEST (GOLF COURSE)		
Min flanking side yard	4.5m	±9.03m
EAST (GALLAGHER PINNACLE WAY)		



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DEVELOPMENT
CONDO**
4500-4680 GALLAGHERS DRIVE EAST



Consultant Seal

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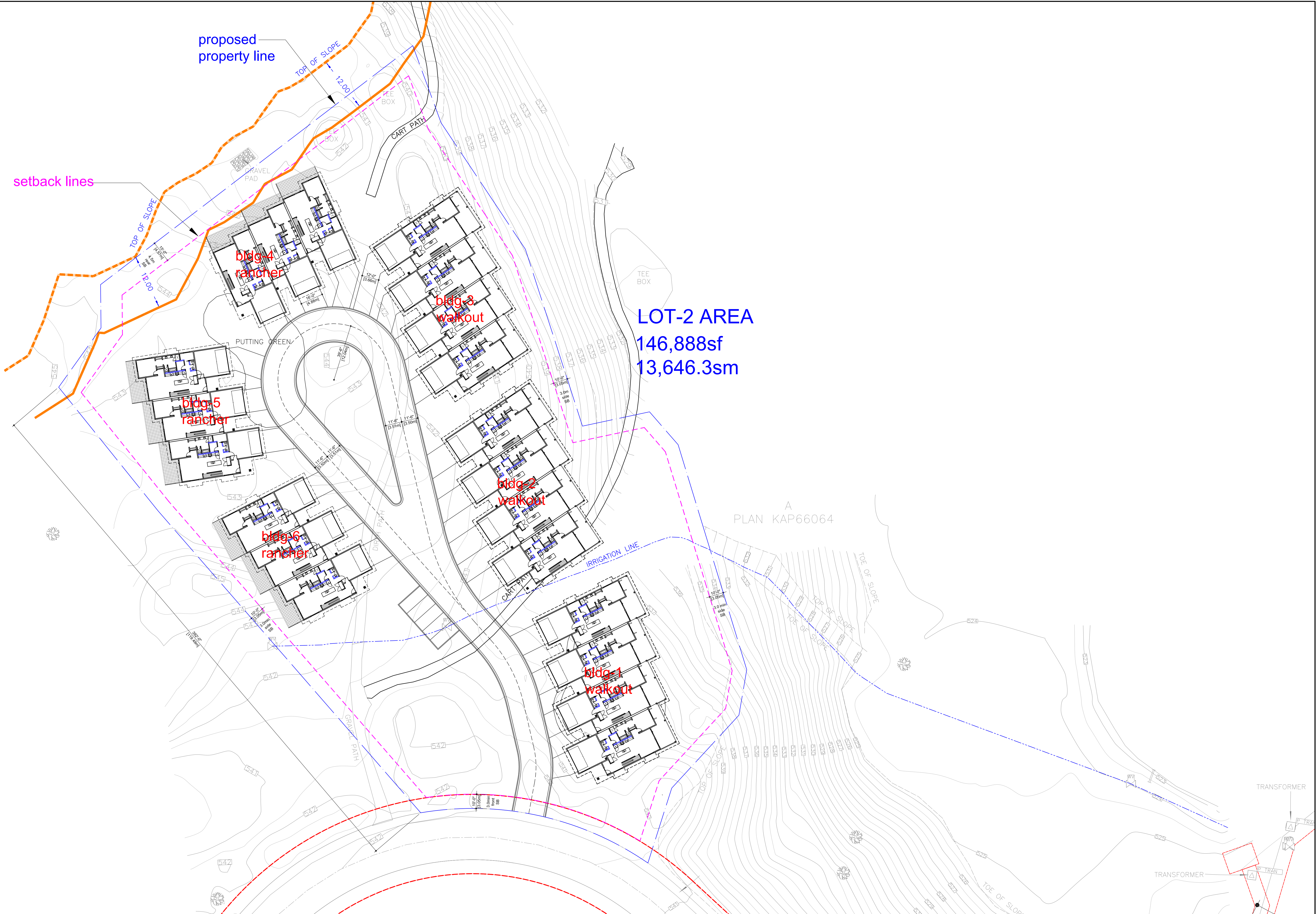
Drawing Title
**SITE PLAN -
OVERALL**

scale: 70'-1"

Drawing Number

A2.01

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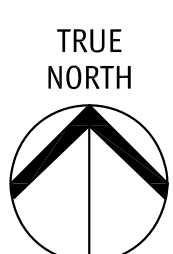
LOT-2 AREA
 146,888sf
 13,646.3sm

A
 PLAN KAP66064

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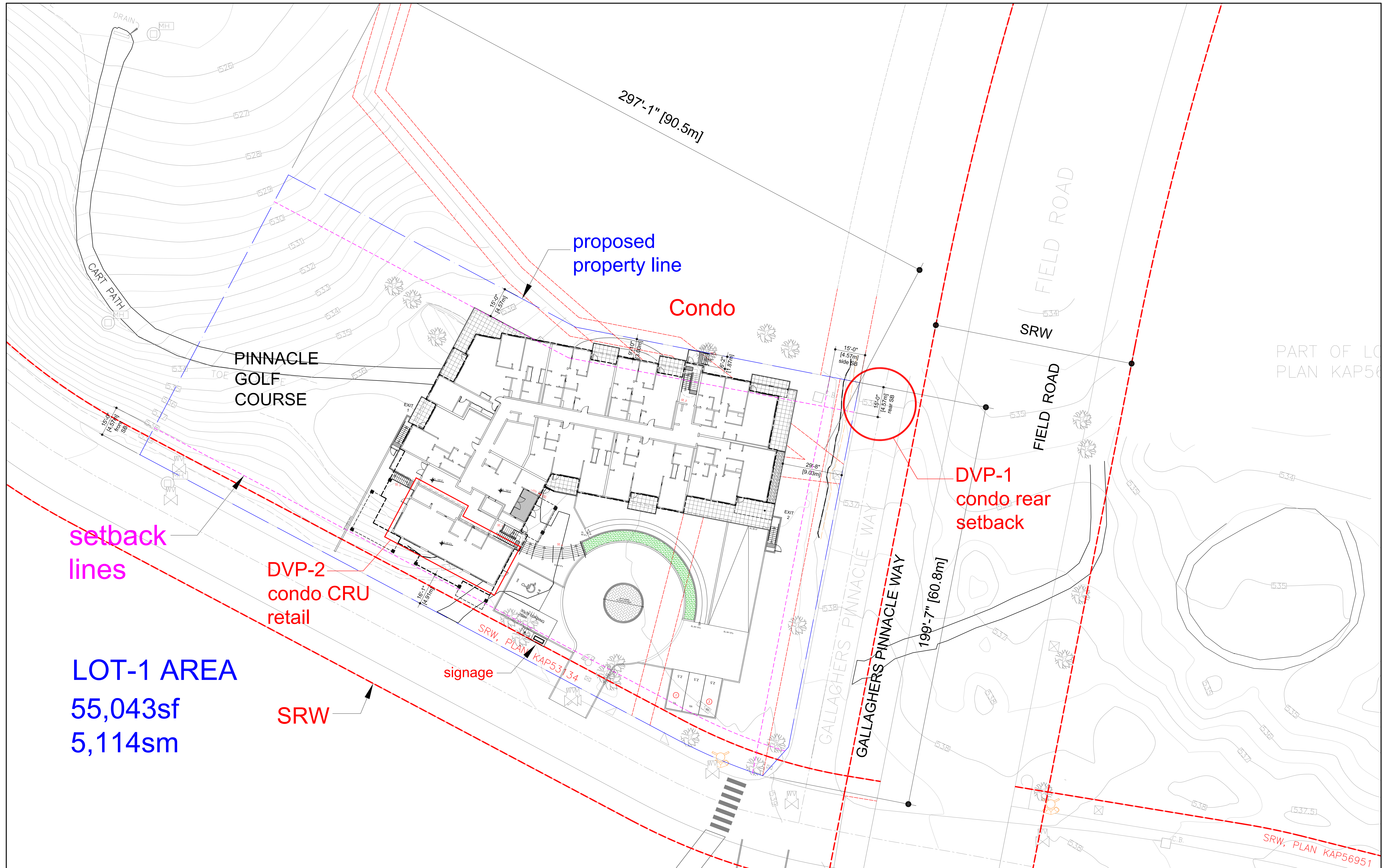


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Drawing Title
SITE PLAN - TH
 scale: 30'-1"

Drawing Number
A2.02
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Drawing Title
SITE PLAN - CONDO

scale: 20'-1"

Drawing Number

A2.03

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boundary lines

LOT-1 AREA
55,043sf
5,114sm

DVP-2
condo CRU
retail

SRW

signage

GOLF CART
STORAGE
BUILDING

GOLF COURSE
PARKING

GALLAGHERS Pinnacle
GALLAGHERS Pinnacle Way

199'-7" [60.8m]

COVENANT,
PLAN
KAP56946

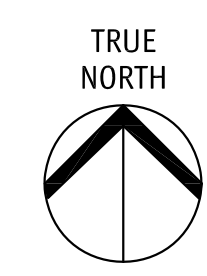
SRW,
PLAN
KAP56951

SRW,
PLAN
KAP56951

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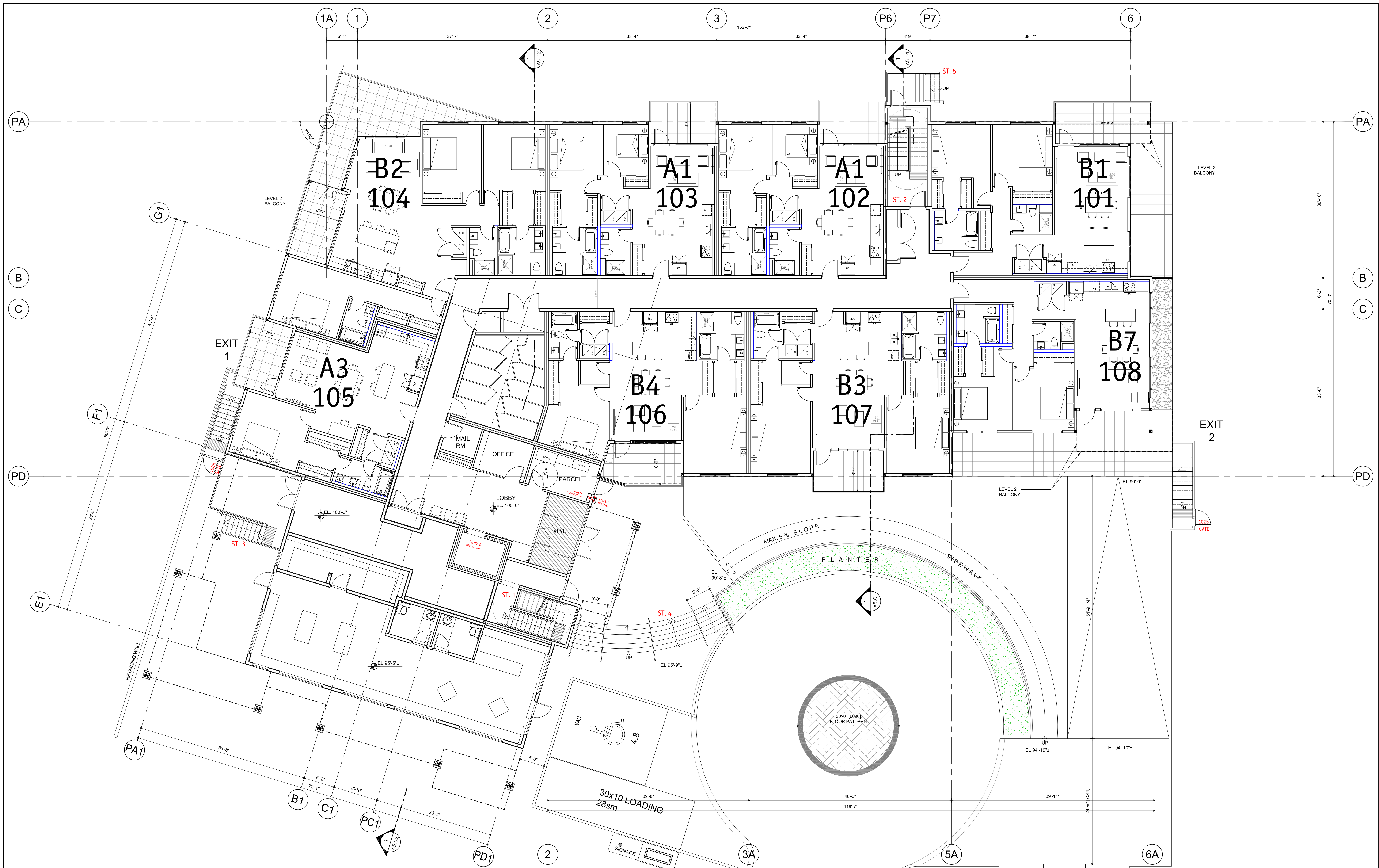
Drawing Title
**CONDO
LEVEL 0**

scale: 1/8"=1'0"

Drawing Number

A3.00

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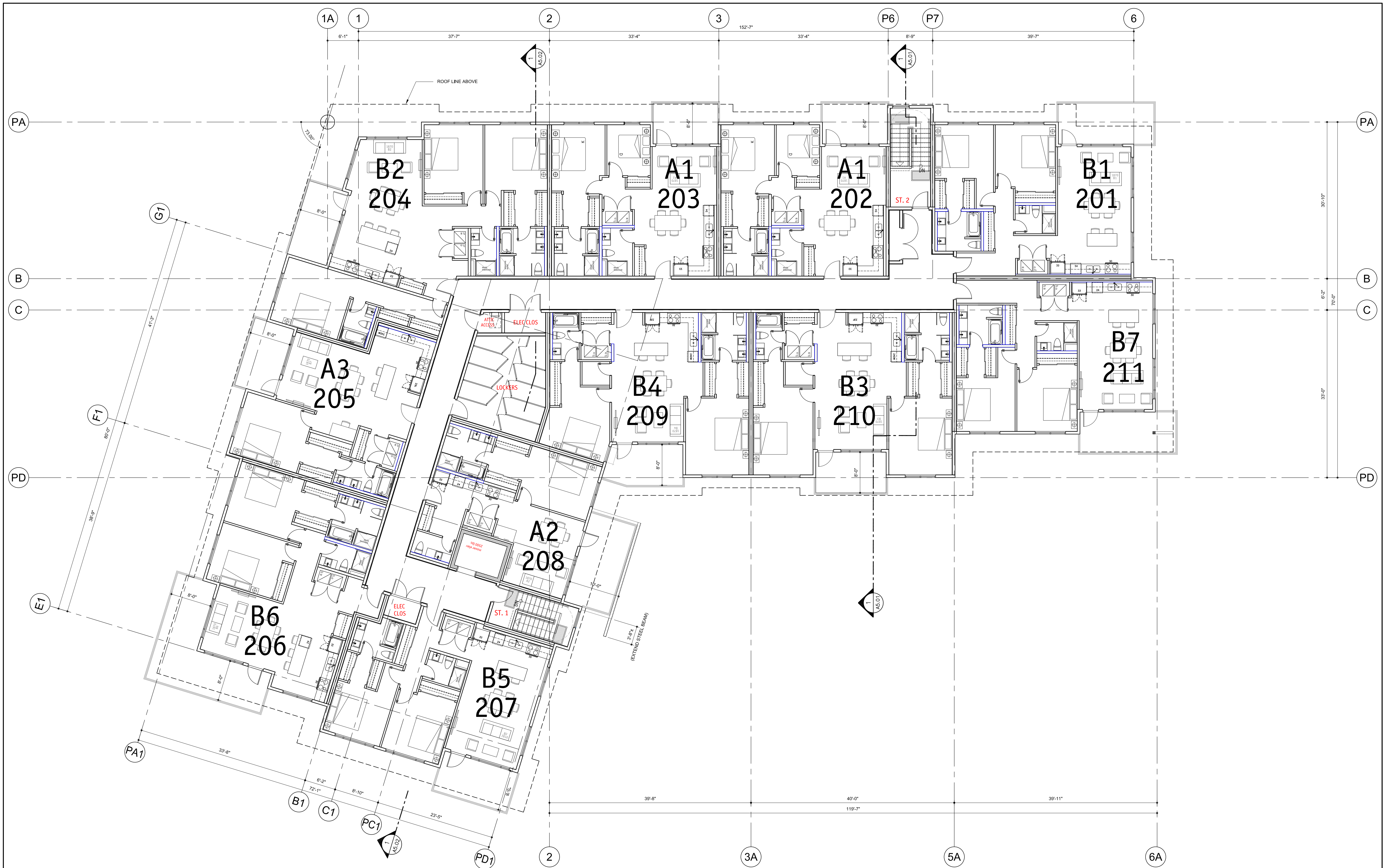
Drawing Title
**CONDO
LEVEL 1**

scale: 1/8"=1'0"

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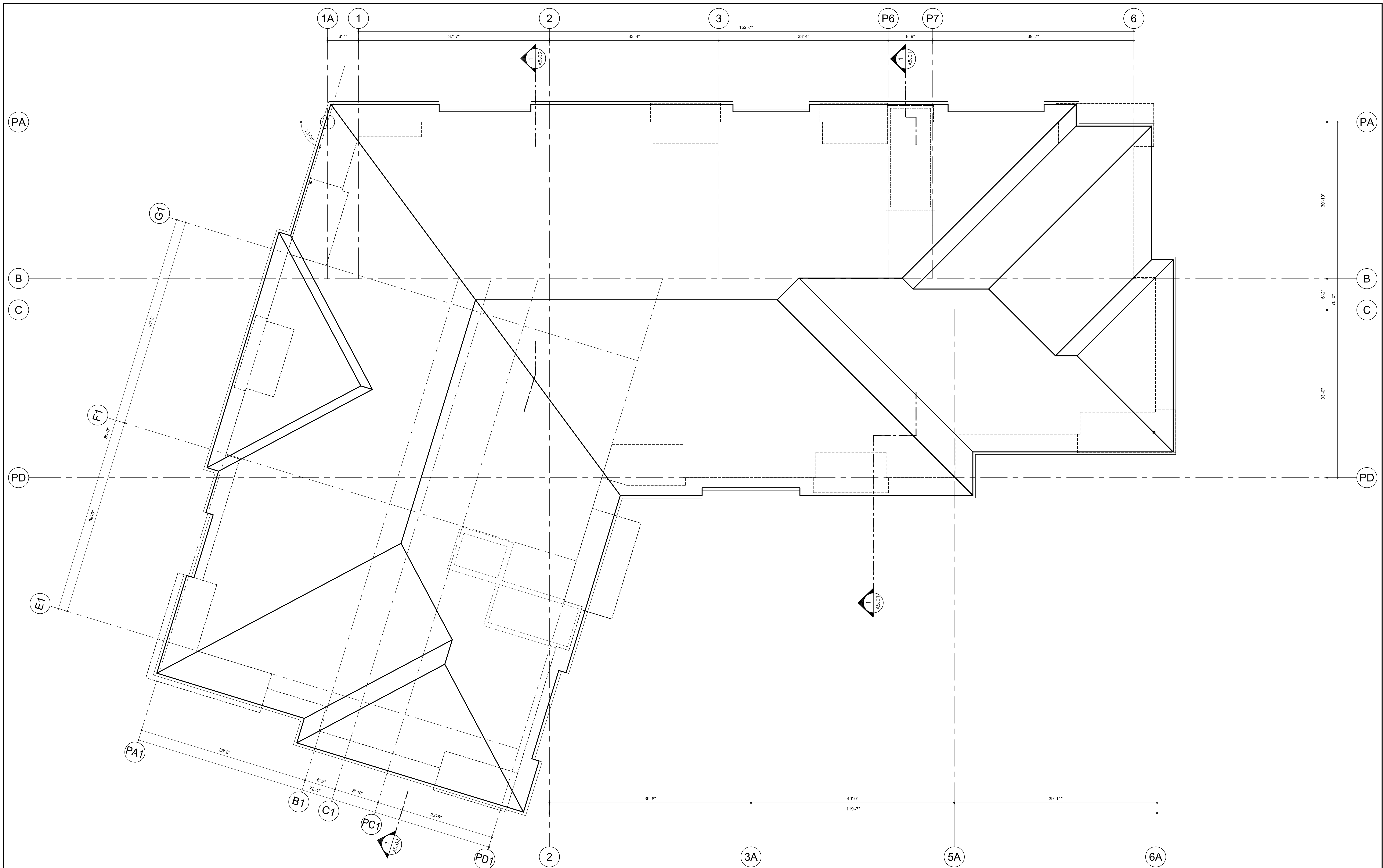
Drawing Title
CONDO
LEVEL 2

scale: 1/8"=1'0"

Drawing Number

A3.02

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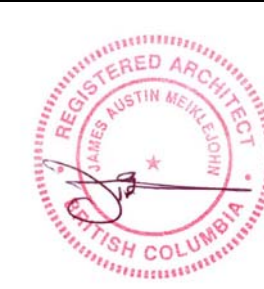


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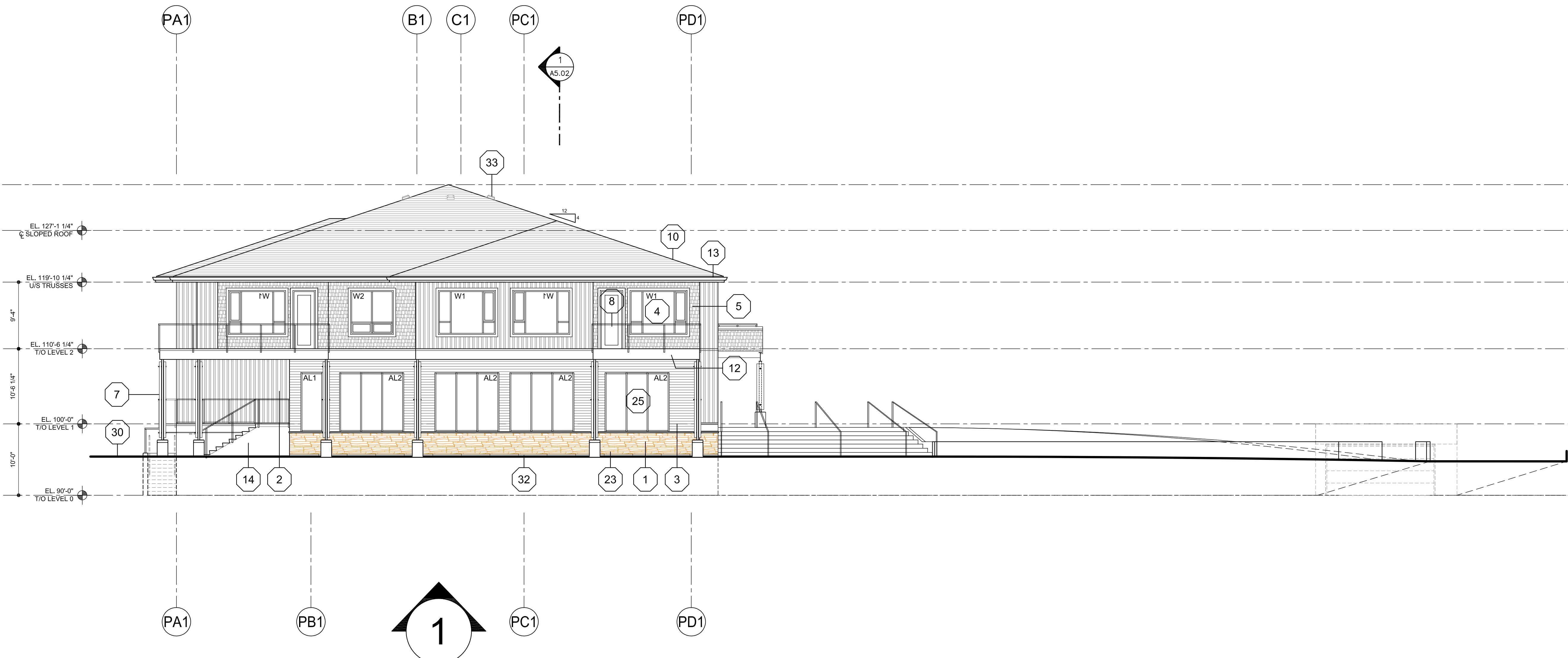
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**CONDO
 ROOF PLAN**

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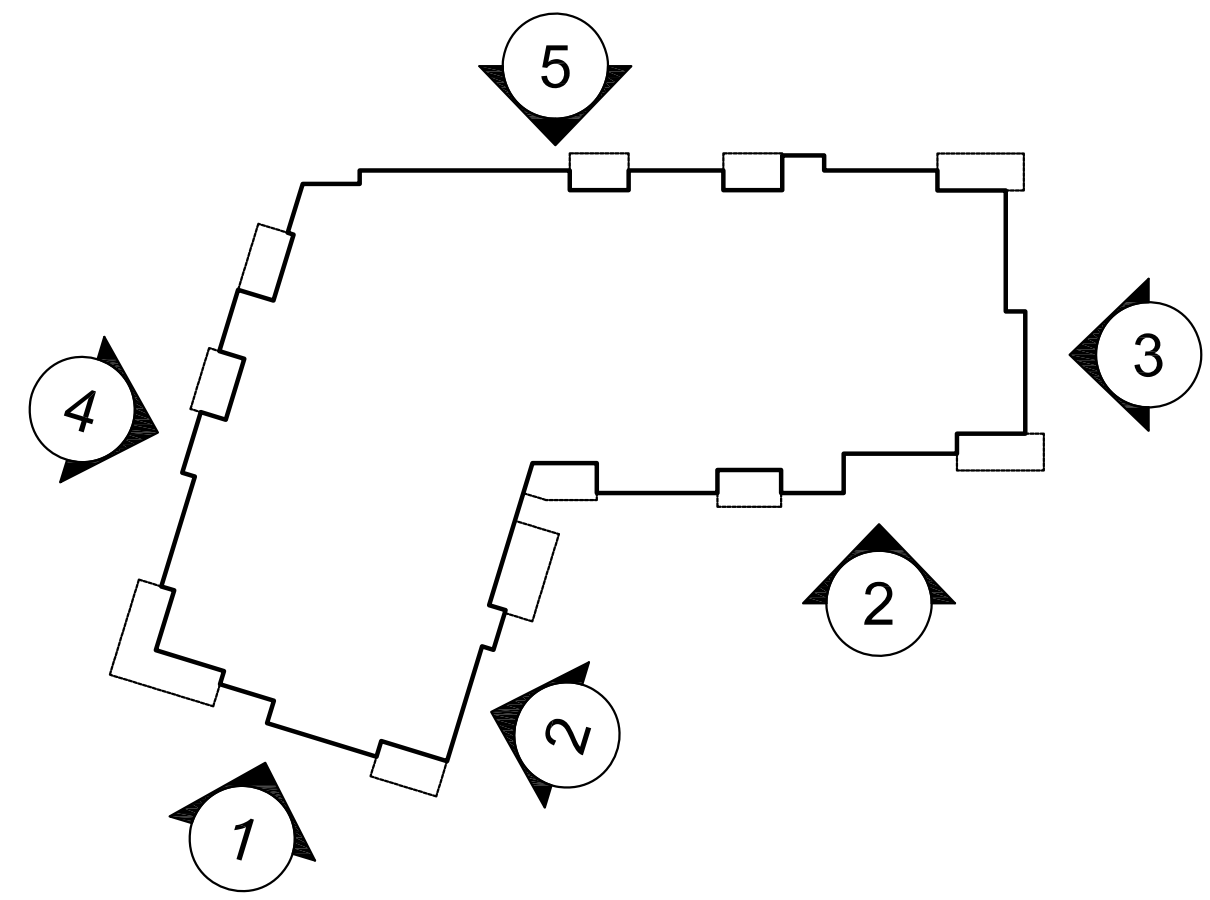
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30	FINISHED GRADES (SEE CIVIL+LANDSCAPE)	22	PAINTED METAL DOOR	14	EXPOSED ARCHITECTURAL CONCRETE C/W SACK RUBBED FINISH / REVEALS	7	GLULAM POST & BEAM WITH EXPOSED PAINTED STEEL BOLTS	ELEVATION KEY NOTES: ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUF.'S STANDARD LINE OF COLOURS.		
31	ILLUMINATED SIGNAGE	23	CONCRETE BASE	15	FIBREGLASS DOOR	8	ALUM. GLASS RAILING			
32	CONCRETE FACED RIGID INSULATION	24	CONCRETE RETAINING WALL	16	DECK PRIVACY SCREEN	9	SOLID WOOD / GLULAM WALL MTD. BRACKETS		1	CULTURED STONE FACING
33	ROOF VENT	25	ALUM. STOREFRONT WINDOW & DOOR	17	PREFINISHED VENTS	10	LAMINATED FIBREGLASS/ ASPHALT ROOF SHINGLES		2	FIBRE CEMENT VERT. BOARD & BATTEN @ 12" O.C.
		26	METAL SOFFIT	18	DOOR / WINDOW TRIM	10a	LOW SLOPE ASPHALT SHINGLES TO MATCH ROOF SHINGLES	3	FIBRE CEMENT HORIZ. LAP SIDING	
		27	LIGHT FIXTURE	19	GLULAM POST	11	PAINTED STEEL COLUMN WITH CONCRETE BASE	4	VINYL WINDOW & DOOR	
		28	SIAMESE CONNECTION	20	ALUM RWL WITH GUTTER	12	PAINTED FIBRE CEMENT TRIM BOARD	5	FIBRE CEMENT HORIZ. STAGGERED SHINGLE SIDING	
		29	WALL MOUNTED INTERCOM, SEE ELEC.	21	PAINTED METAL OH DOOR	13	PREFINISHED METAL GUTTER / FASCIA	6	PREFINISHED SHEET METAL FLASHING	



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DP

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Project Title
GALLAGHERS'S CANYON DEVELOPMENT CONDO
4500-4680 GALLAGHERS DRIVE EAST

Consultant Seal

233 BERNARD AVENUE
KELOWNA, B.C.
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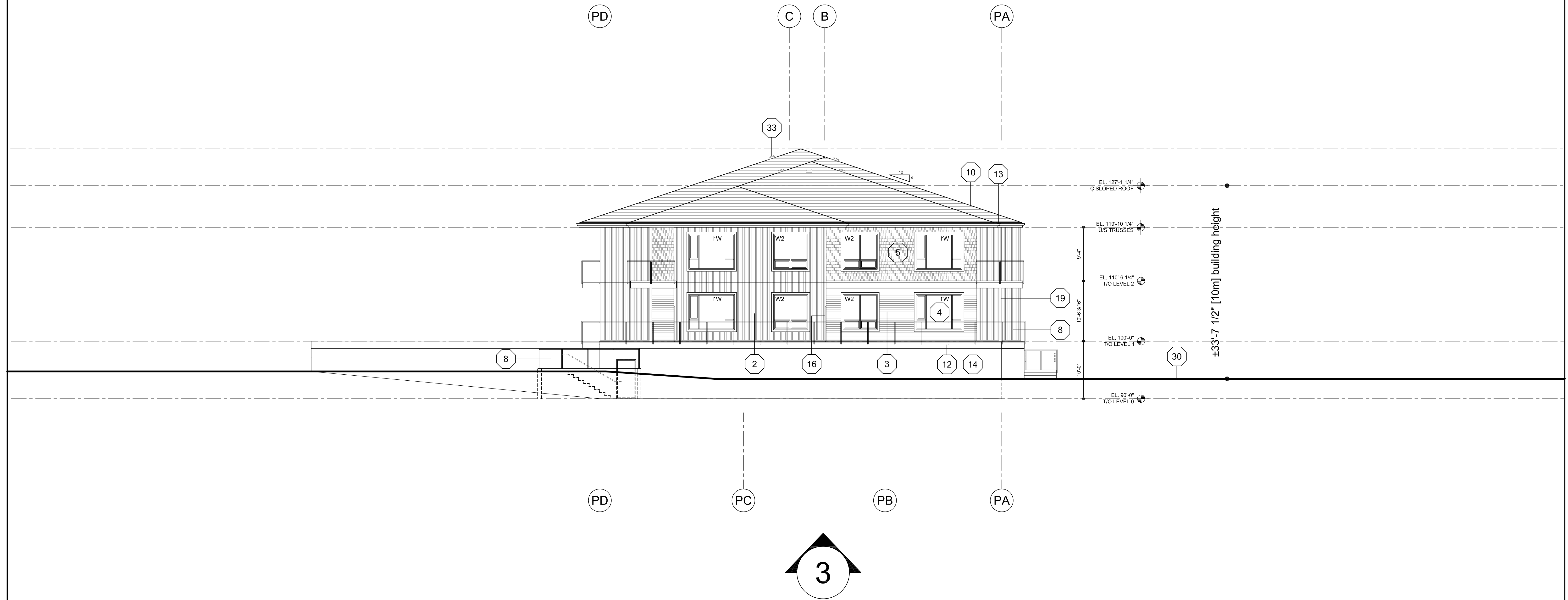


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CONDO BLDG ELEV
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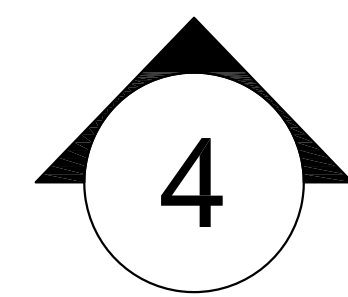
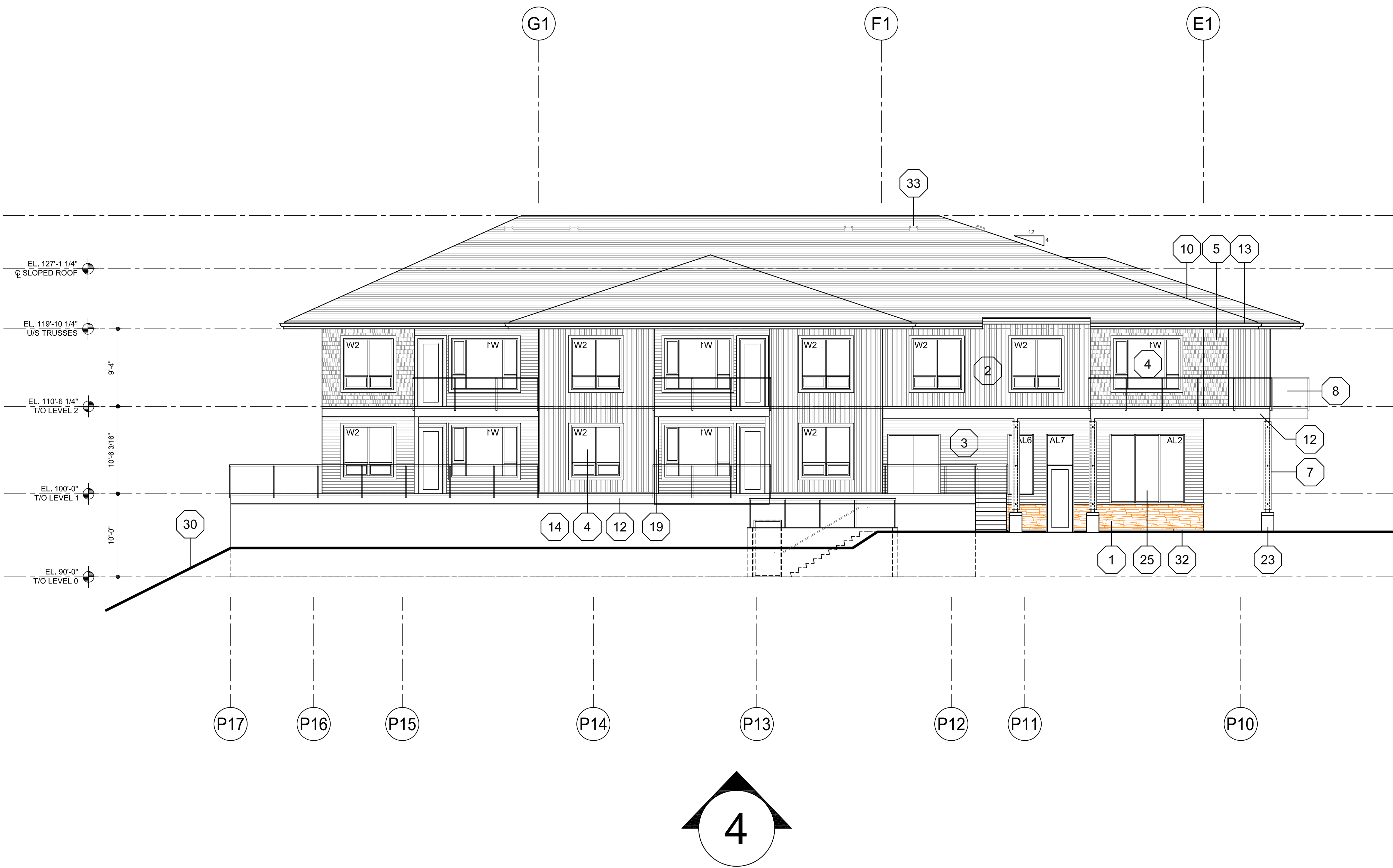
Drawing Title
CONDO
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scale: 1/8"=1'0"

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A4.03

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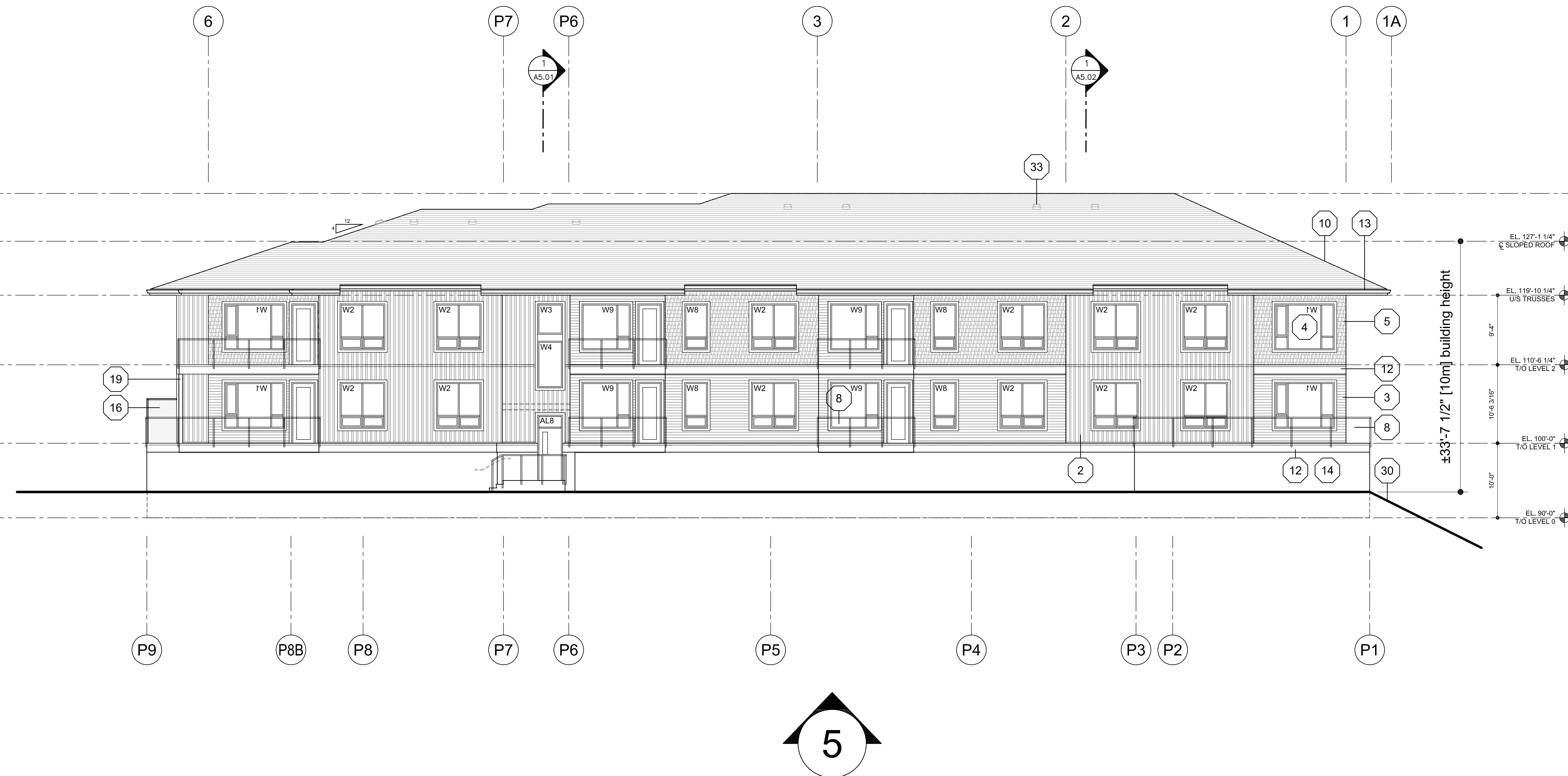
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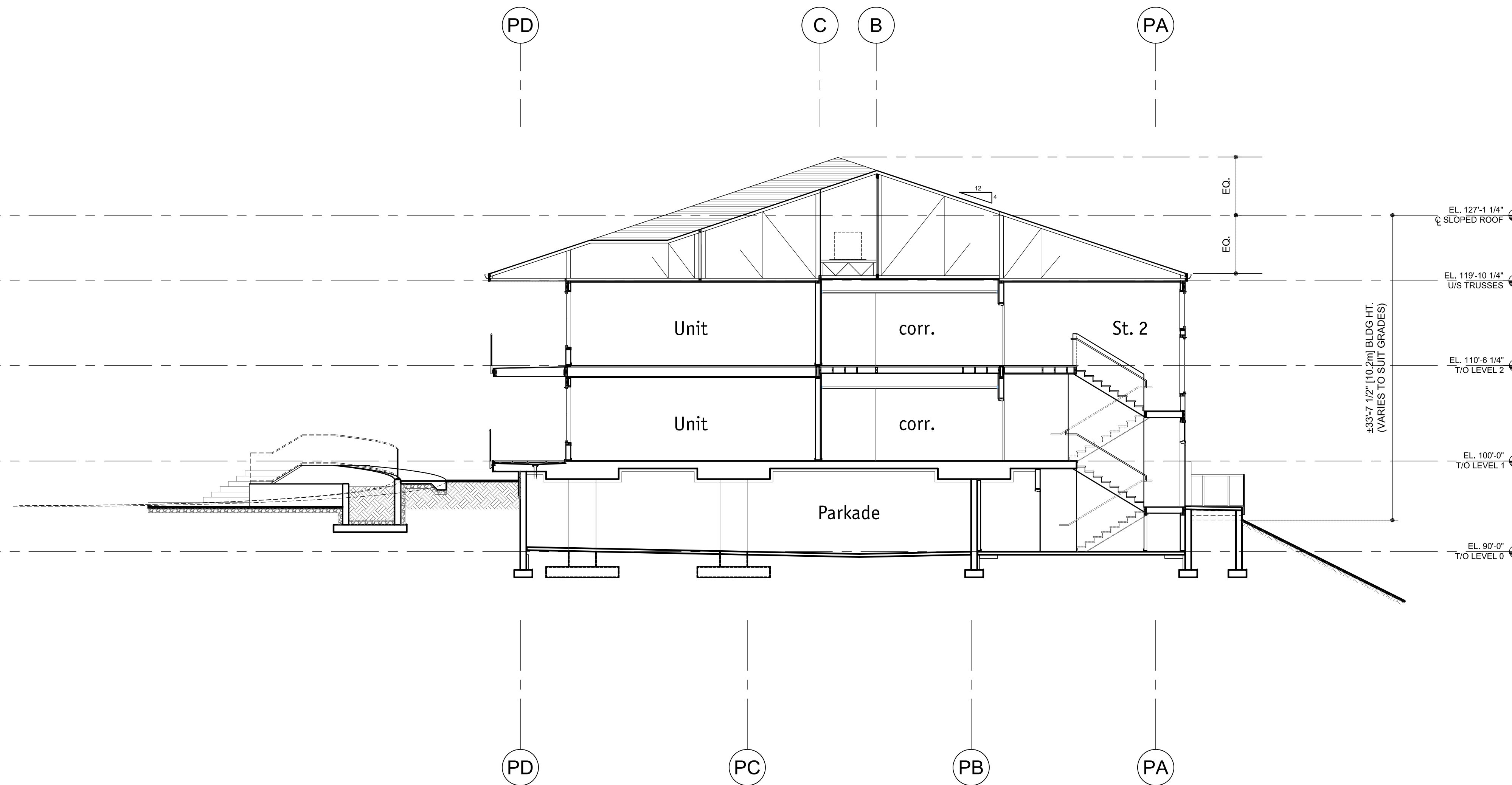
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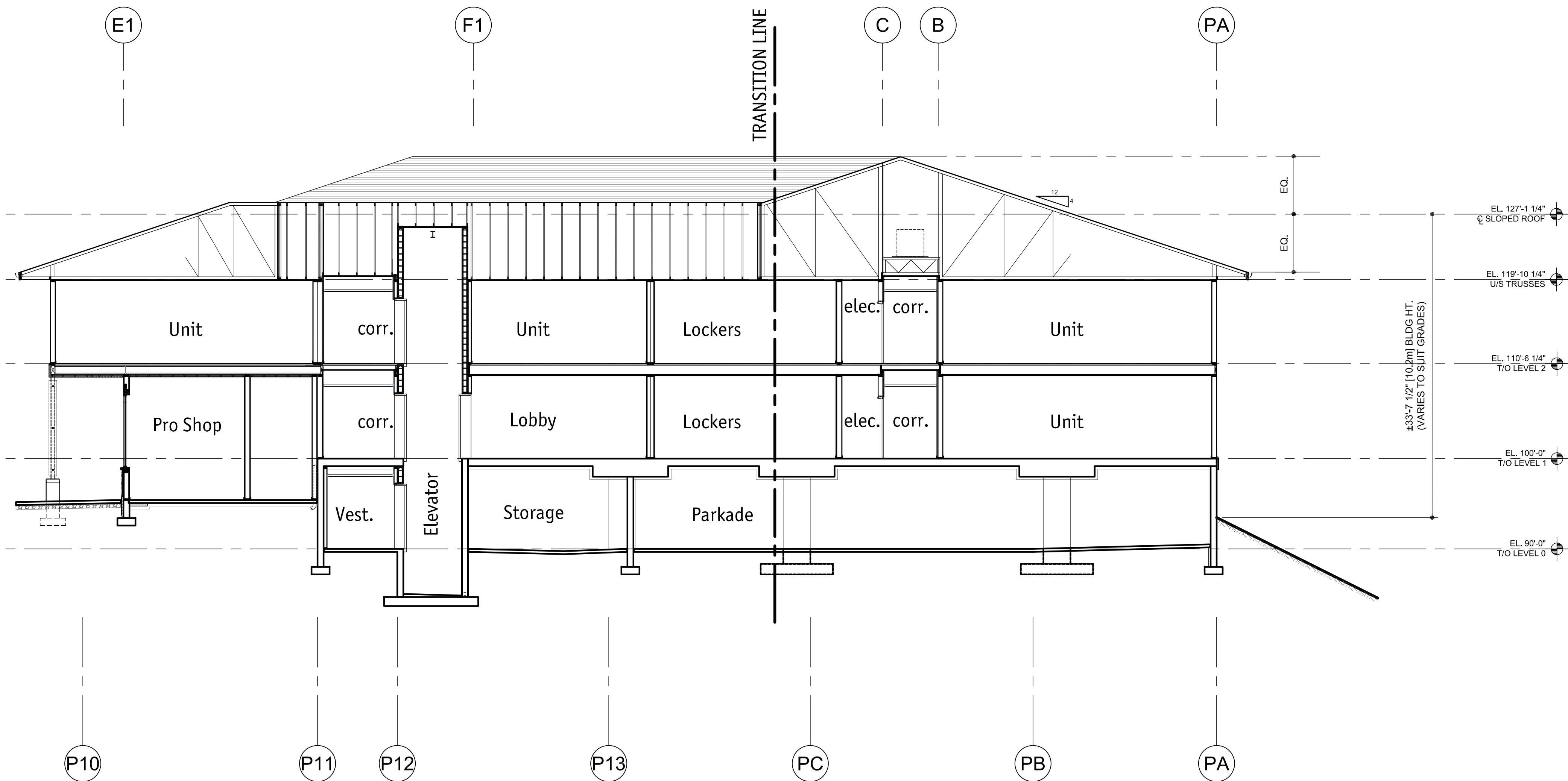
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Job No.	m+m 19-1870
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Drawing Title
CONDO
BLDG. SECTION
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A5.01

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A5.02

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REQUIRED FIRE SEPARATIONS		3.1.3.1.
MAJOR OCCUPANCIES	TOWNHOUSE	
GROUP C TO C	3/4 HR MIN.	3.3.1.1.

BUILDING FIRE SAFETY		
SOFFIT PROTECTION	N/A	3.2.3.16.
FLAME SPREAD RATINGS	COMPLY WITH	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2.
ATTIC FIRESTOPS	YES	3.1.11.1.
MAX. ATTIC AREA	300 sm	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.5.

ACCESSIBILITY REQUIREMENTS	
NOTE: ACCESSIBILITY NOT REQUIRED FOR TOWNHOUSES	

WASHROOM FIXTURES REQUIREMENTS	
MIN. 1 REQ'D / DWELLING UNIT	3.7.2.2.(11)

CONDO SPATIAL SEPARATION				3.2.3.1.D
	REAR YARDS	SIDE YARDS	SOUTH / FRONT YARD	
WALL AREA	±57sm	±57sm	window openings & walls construction un-restricted, linting distance exceeds 7.0m (residential)	
OPENING AREA	±18.6 sm	±18.6 sm	or building faces a street in accordance with 3.2.3.10.(2)	
% PROVIDED	±32.5%	±32.5%		
LIMITING DISTANCE	5.0 m	5.0 m		
% PERMITTED	±39%	±39%		
CONSTRUCTION TYPE	COMBUST./NON-COMBUST.	COMBUST./NON-COMBUST.		
CLADDING MATERIAL	NON-COMBUSTIBLE	NON-COMBUSTIBLE		
REQUIRED RATINGS	45 MINUTES	45 MINUTES		

BUILDING CODE REVIEW					BCBC 2018	
OCCUPANCY	GROUP C	GROUP C				
ARTICLE	3.2.2.53	TOWNHOUSES - BUILDINGS 1, 2 & 3		TOWNHOUSES - BUILDINGS 4, 5 & 6		
NO. OF STOREYS	2 STOREY	2 STOREY		2 STOREY		
NO. OF STREETS FACING	1	1		1		
BUILDING AREAS:	PROPOSED	CODE MAX.	PROPOSED	CODE MAX.		
	622.5 sm	900 sm	451sm MAX.	600sm		
CONSTRUCTION TYPE	COMBUST./NON-COMBUST.		COMBUST./NON-COMBUST.			
SPRINKLERED	NOT REQUIRED		NOT REQUIRED			
ASSEMBLY RATINGS:						
FLOOR	3/4 HR	3/4 HR		3/4 HR		
WALLS / BEARING STRUCTURE	3/4 HR	3/4 HR		3/4 HR		
ROOFS	NO RATING REQUIRED		NO RATING REQUIRED			

FIRE PROTECTION:		3.2.5.	PART 9
LOCATION OF HYDRANT :	90m MAX TO ENTRY	3.2.5.5.	90m MAX TO ENTRY
STANDPIPE HOSE	NA		NA
SPRINKLERED	NA		NA
FIRE ALARM SYSTEM	NA		NA
EXIT LIGHTS	NA		NA
EMERGENCY LIGHTING	NA		NA

OCCUPANT LOAD			TABLE 3.1.17.1.(1b)	
TOWNHOUSES				
BUILDING 1	2 PERSONS / SLEEPING RMS x 12 RMS		24 PERSONS	
BUILDING 2	2 PERSONS / SLEEPING RMS x 12 RMS		24 PERSONS	
BUILDING 3	2 PERSONS / SLEEPING RMS x 12 RMS		24 PERSONS	
BUILDING 4	2 PERSONS / SLEEPING RMS x 9 RMS		18 PERSONS	
BUILDING 5	2 PERSONS / SLEEPING RMS x 9 RMS		18 PERSONS	
BUILDING 6	2 PERSONS / SLEEPING RMS x 9 RMS		18 PERSONS	

EXIT FACILITIES		3.1 to 3.6	
TOWNHOUSES			
	min. 800mm door width as per 3.4.3.2.(A)		
PROVIDED	DOOR		
TOWNHOUSE UNITS	min. 1 door @ 800mm (each unit)		
EXIT THROUGH LOBBY	N/A		
PANIC HARDWARE REQ'D	N/A	3.4.6.16.(2)	
EXIT EXPOSURE	OK	3.2.3.13.	
MAX. TRAVEL DISTANCE	30m	3.4.2.5.(1)	
EXIT RATINGS REQUIRED:			
STAIR SHAFTS	N/A	3.4.4.1.	
CORRIDORS	N/A	3.3.2.6.(4)	

TOWNHOUSES SITE COVERAGE & IMPERMEABLE SURFACES					
	building footprint area (sf)	building footprint area (sm)	paved driveway area (sf)	paved driveway area (sm)	
			15,121		driveway
BUILDING 1	6,700	622.5	220		driveway
			200		driveway
			207		driveway
			320		driveway
BUILDING 2	6,700	622.5	360		driveway
			423		driveway
			380		driveway
			313		driveway
BUILDING 3	6,700	622.5	313		driveway
			160		driveway
			280		driveway
			512		driveway
BUILDING 4	5,024	466.7	358		driveway
			203		driveway
			227		driveway
BUILDING 5	5,024	466.7	401		driveway
			213		driveway
			302		driveway
BUILDING 6	5,024	466.7	210		driveway
			223		driveway
			235		driveway
			812		visitor stalls
TOTAL	35,172	3,268	21,993	2,043	
Max site coverage of all buildings (55%)					23.9%
Max site coverage of all buildings, structures and impermeable surfaces (80%)					38.9%

TOWNHOUSES GFA					
BUILDING 1		±sf	±sm		
	L0 - include garage	6,700	622		
	L1	4,220	392		
	Subtotal			10,920	1,050
BUILDING 2				10,920	1,050
BUILDING 3				10,920	1,050
BUILDING 4	L1	5,024	467		
	L2	2,871	267		
	Subtotal			7,895	733
BUILDING 5				7,895	733
BUILDING 6				7,895	733
				Total	56,445
					5,244

COMMON & PRIVATE AMENITY SPACE 14.11 (pg 155)					
Page 144 4.0 sm per unit of common and private amenity space, accessible to all residents and not located within required setback areas.					
	sm		sm	total sm	
bachelor	7.5				
1 bed	15.0	Total Townhouses units	21 - 3b	25	525
1 bed or more	25.0				
				Required amenity	525
				Required common amenity = 4.0 sm x 21	84.0

PRIVATE AMENITY SPACE					
BUILDING 1					
101	L1	290	26.9		
	L2	484	45.0		
102	L1	290	26.9		
	L2	484	45.0		
103	L1	290	26.9		
	L2	484	45.0		
104	L1	290	26.9		
	L2	484	45.0		
				3,096	288
BUILDING 2				3,096	288
BUILDING 3				3,096	288
BUILDING 4					
101	L0	484			
	L1	290			
102	L0	484			
	L1	290			
103	L0	484			
	L1	290			
				2,322	216
BUILDING 5				2,322	216
BUILDING 6				2,322	216
				Total Provided	16,254
					1,510
COMMON AMENITY SPACE					
LANDSCAPE PLAZA AREA			3,990	370.7	

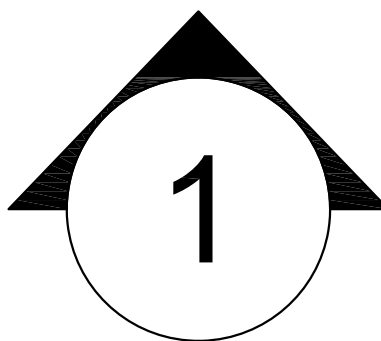
Parking calculations		(table 8.2.7 & 8.3)			
STALL SIZE		WIDTH	LENGTH	HEIGHT	
REGULAR SIZE STALL	8'-3"	2.5m	19'-6"	6.0m	6'-7"
SMALL SIZE STALL (50% max)	7'-6"	2.3m	15'-9"	4.8m	6'-7"
ACCESSIBLE STALL	12'-10"	3.9m	19'-6"	6.0m	6'-7"
VAN ACCESSIBLE STALL	15'-9"	4.8m	19'-6"	6.0m	7'-7"
REGULAR PARALLEL STALL	8'-7"	2.6m	23'-0"	7.0m	7'-7"
SMALL PARALLEL STALL	8'-3"	2.5m	21'-4"	6.5m	6'-7"
DRIVE AISLES (2-way 90° pkg)	21'-4"	6.5m	-	-	6'-7"
LOADING AREA	28 sm	3.0 m width	4.0 m overhead clear		
REQUIRED PARKING					
	BUILDING 1	unit #	# bad	# stall	
		101	3b	2.0	
		102	3b	2.0	
		103	3b	2.0	
		104	3b	2.0	
					8.0
	BUILDING 2				8.0
	BUILDING 3				8.0
	BUILDING 4	101	3b	2.0	
		102	3b	2.0	
		103	3b	2.0	
	BUILDING 5				6.0
	BUILDING 6				6.0
			Required Resid.		42.0
			Total Townhouse units = 21		
			Required Visitor		2.94
			Required Total		44.9
			Provided Total		47.0
CRU Loading area (Table 8.4) - N.A.					
			1 per 1,900 sm GFA		
			1 (size: 30' 0" x 10' 0")		

TOWNHOUSES SITE COVERAGE & IMPERMEABLE SURFACES					
	building footprint area (sf)	building footprint area (sm)	paved driveway area (sf)	paved driveway area (sm)	
			15,121		driveway
BUILDING 1	6,700	622.5	220		driveway
			200		driveway
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BUILDING 5	5,024	466.7	401		driveway
			213		driveway
			302		driveway
BUILDING 6	5,024	466.7	210		driveway
			223		driveway
			235		driveway
			812		visitor stalls
TOTAL	35,172	3,268	21,993	2,043	
Max site coverage of all buildings (55%)					23.9%
Max site coverage of all buildings, structures and impermeable surfaces (80%)					38.9%

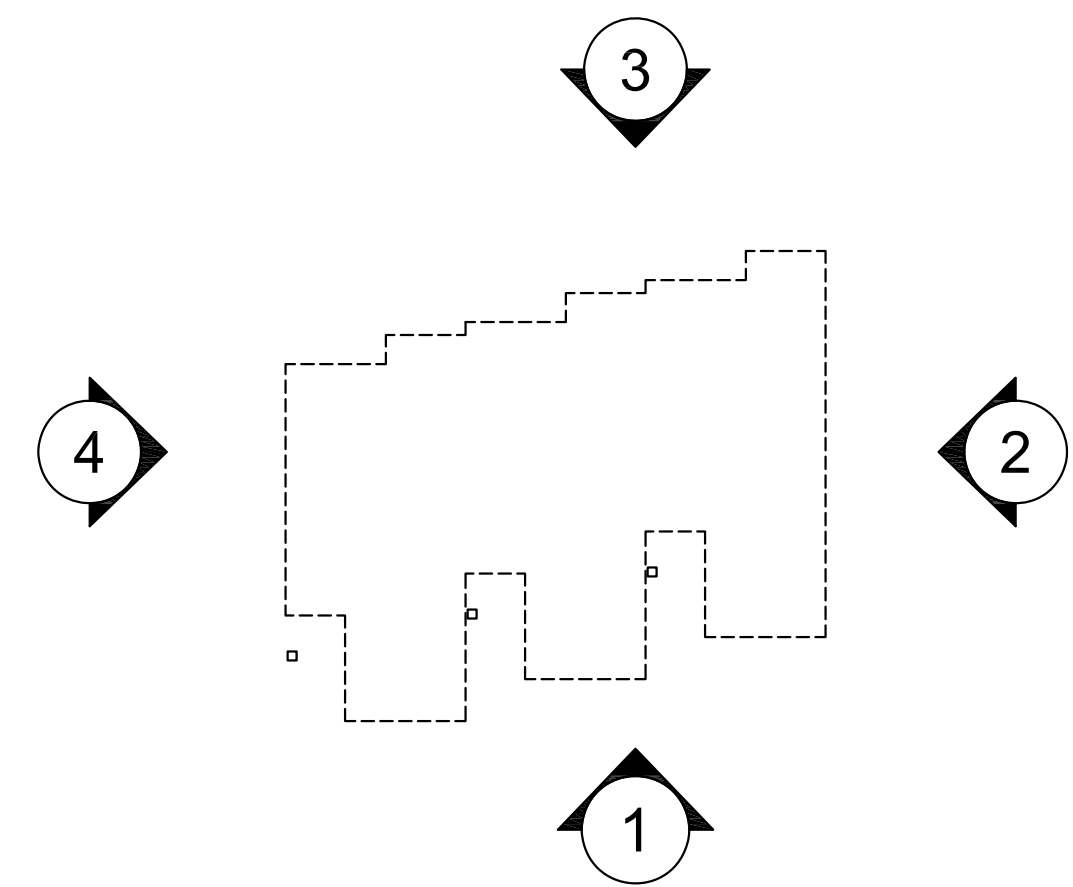
TOWNHOUSES - BUILDINGS 4, 5 & 6			
Not exceeding 600sm building area Part 9 (1.3.3.3.)			
Required Max. Building Area	600 sm	6,458 sf	
Proposed Building 4 Footprint Area include projection of building above (Building 5 & 6 similar)	466.7 sm	5,024 sf	

ZONING SUMMARY		
GALLAGHERS DRIVE E		
ADDRESS	4500 - 4680 GALLAGHERS DRIVE EAST	
LEGAL DESCRIPTION	PART OF LOT A & AN UNDIVIDED 1/24th SHARE IN LOT G PLAN KAP93116 SECTIONS 1 & 12 TOWNSHIP 26 DDY PLAN KAP6064	
DEVELOPMENT PERMIT AREA	YES	
EXISTING ZONING	P3 - PARKS & OPEN SPACE	
PROPOSED ZONING	MF2 - TOWNHOUSE HOUSING	
EXISTING LEGAL USE	SINGLE FAMILY RESIDENCE	
GRADES	EXISTING AVERAGE - SLOPE	
NUMBER OF NEW BUILDINGS	SIX	
MF2 - TOWNHOUSE HOUSING		
CRITERIA	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	20.0m	±80.0m
MINIMUM LOT DEPTH	30.0m	±120.0m
MINIMUM LOT AREA	900sm	±146,888sf ±13,846sm
MAXIMUM LOT AREA	N.A.	N.A.
Table 8.3 off-street parking	TOWNHOUSES	42.0
	VISITOR	2.94
	TOTAL	44.9
Coverage	max site coverage of all buildings = 55%	23.9%
	max site coverage of all buildings, structures and impermeable surfaces = 80%	38.9%
Max. density	max base FAR = 1.0	4,261m / site area = 0.31
Max. base height	11.0m & 3 storeys	2 storeys & ±17.5m
with walkout basements	front bldg elev	10.0m & 3 storeys
	rear bldg elev	12.6m & 3 storeys
Min front yard and flanking side yard setback	3.0m	3.0m min.
SOUTH (GALLAGHERS DRIVE E)		
Min building setback from front yard and flanking side yard	N.A.	N.A.
Min side yard setback	3.0m	3.0m min.
WEST (GOLF COURSE)		
Min side yard setback	3.0m	3.0m min.
EAST (GALLAGHER PINNACLE WAY)		
Min rear yard setback	4.5m	4.5m min.
NORTH		
Min common and private amenity space	private amenity = 525sm (include 84sm common amenity)	private amenity = 1,510sm common amenity = 371sm total = 1,881sm
Bicycle Parking	table 8.5 (pg 102)	
THE BIKE PARKING EXCLUSION FOR TOWNHOUSES ONLY APPLIES TO DWELLING UNITS WHICH EACH HAVE A PRIVATE GARAGE.		
NUMBER OF LOADING SPACES	N.A.	N.A.

TOWNHOUSES NFA					
BUILDING 1					
	101	T1	2,227	207	



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33 ROOF VENT	25 ALUM. STOREFRONT WINDOW & DOOR	17 PREFINISHED VENTS	10 LAMINATED FIBREGLASS/ ASPHALT ROOF SHINGLES	
	26 METAL SOFFIT	18 DOOR / WINDOW TRIM	10a LOW SLOPE ASPHALT SHINGLES TO MATCH ROOF SHINGLES	3 FIBRE CEMENT HORIZ. LAP SIDING
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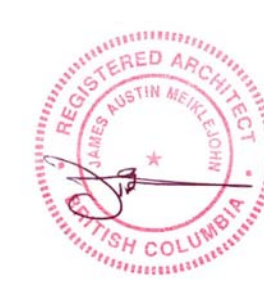


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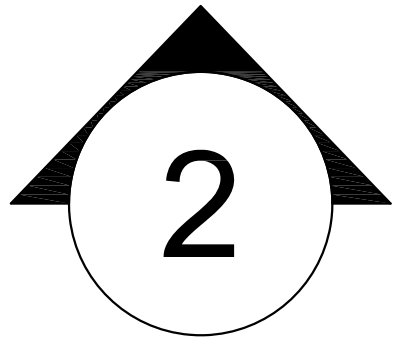
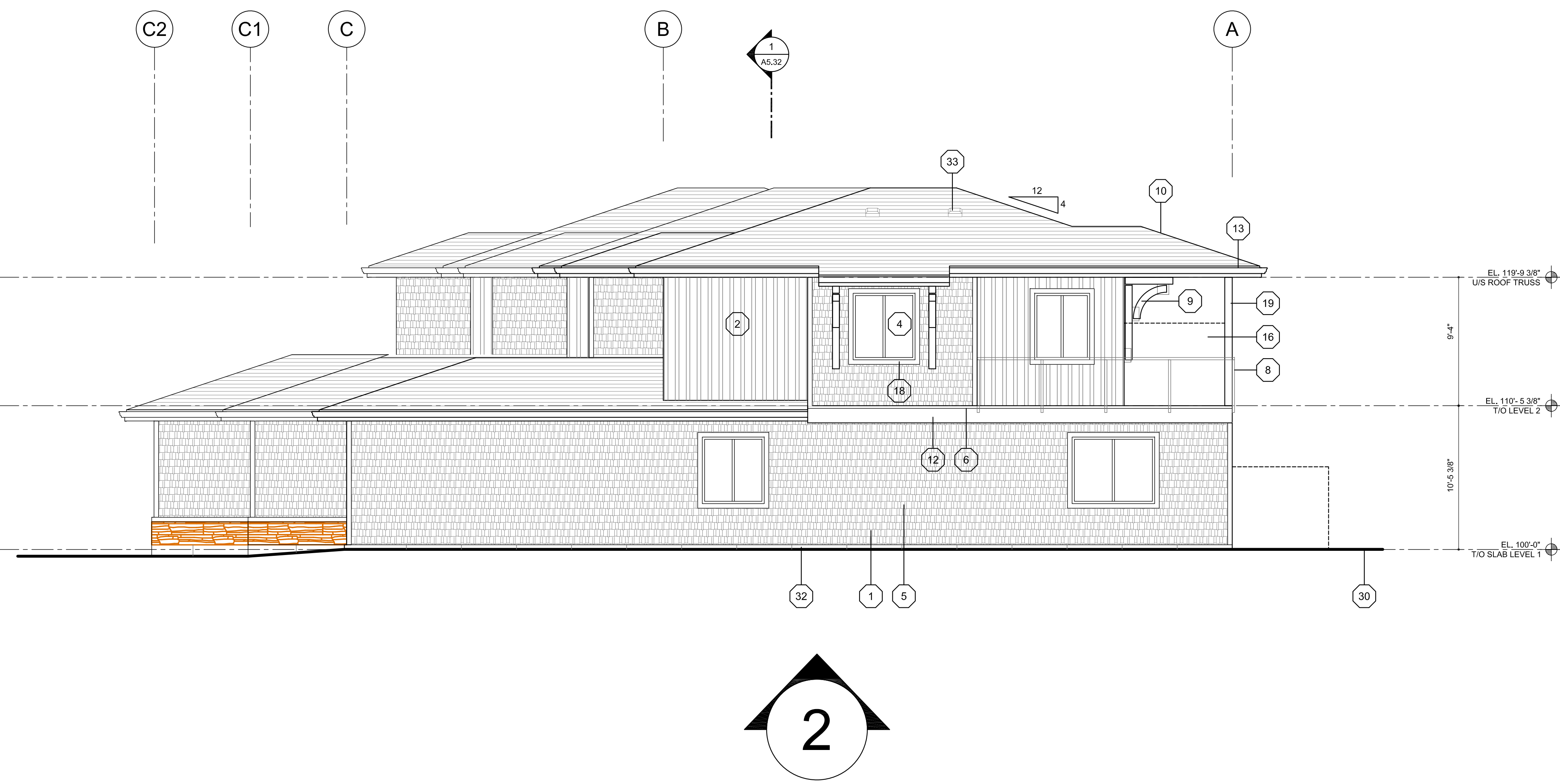
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**BLDG 6 - 3PLEX
RANCHER
FRONT ELEVATION**
scale: 3/16"=1'0"

Drawing Number

A4.31

DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED ON JOB

NOTE: SEE A4.31 FOR KEY NOTE LEGEND & FOR ELEVATION KEY PLAN



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No.	Date	Revision

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1	2023-11-20	Issued DP

Project Title
**GALLAGHERS'S CANYON
 DEVELOPMENT
 TOWNHOUSES**
 4500-4680 GALLAGHERS DRIVE EAST



Consultant Seal

233 BERNARD AVENUE
 KELOWNA, B.C.
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 TEL: 250.762.3004
 EMAIL: kel-mai@shaw.ca



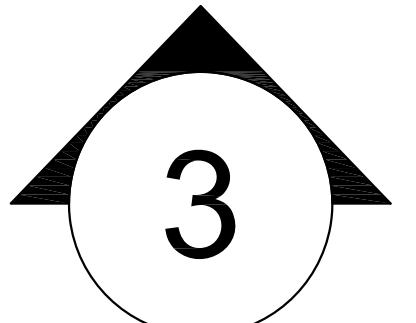
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Date	2023-11-20
Job No.	m+m 19-1870
Scale	AS SHOWN
Drawn	SM
Checked	JM

Drawing Title
**BLDG 6 - 3PLEX
 RANCHER
 RIGHT ELEVATION**
 scale: 3/16"=1'0"

Drawing Number
A4.32
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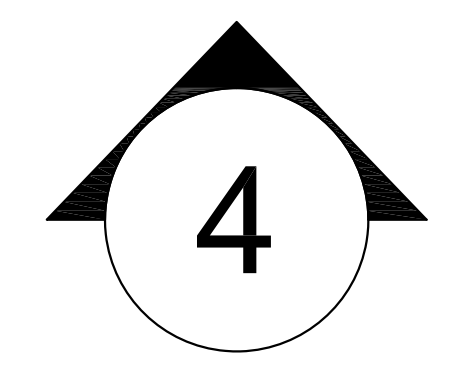
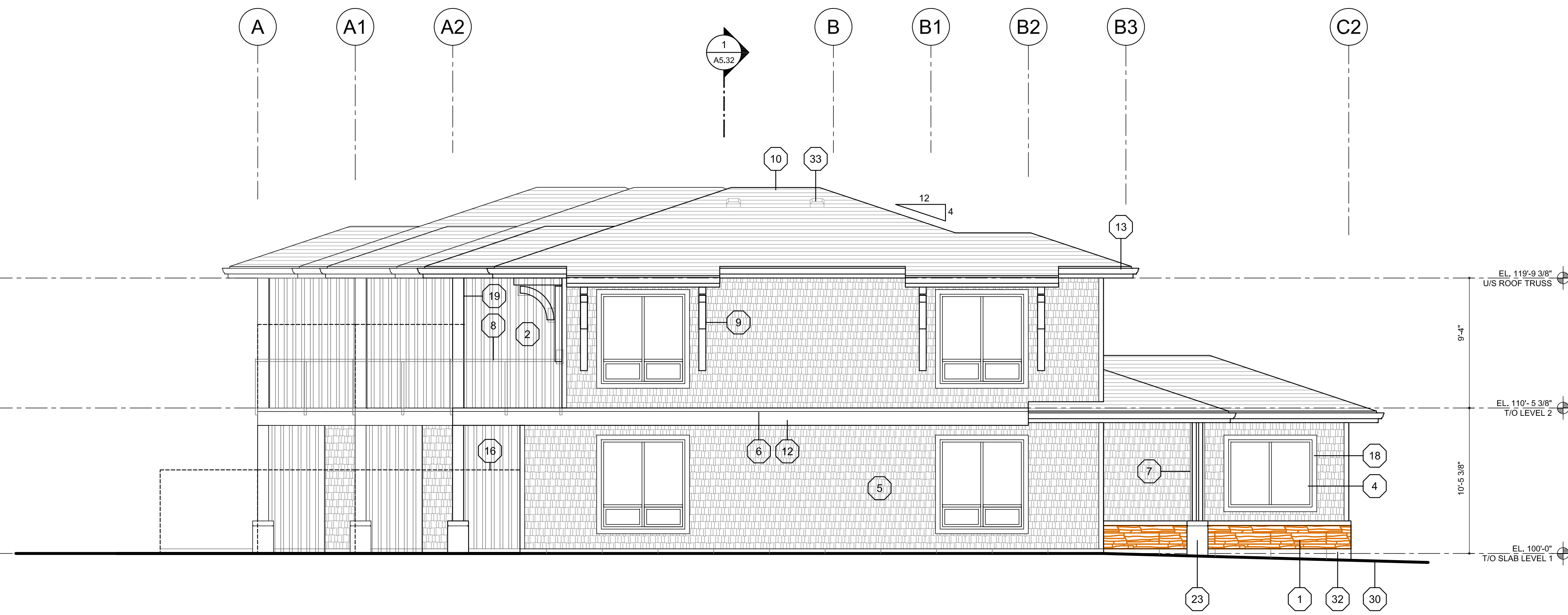
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Drawn	SM
Checked	JM

Drawing Title
**BLDG 6 - 3PLEX
RANCHER
REAR ELEVATION**
scale: 3/16"=1'0"

Drawing Number
A4.33
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NOTE: SEE A4.31 FOR KEY NOTE LEGEND & FOR ELEVATION KEY PLAN

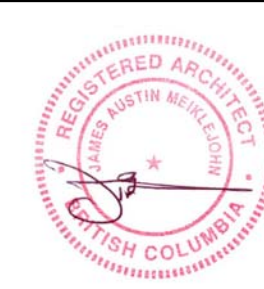


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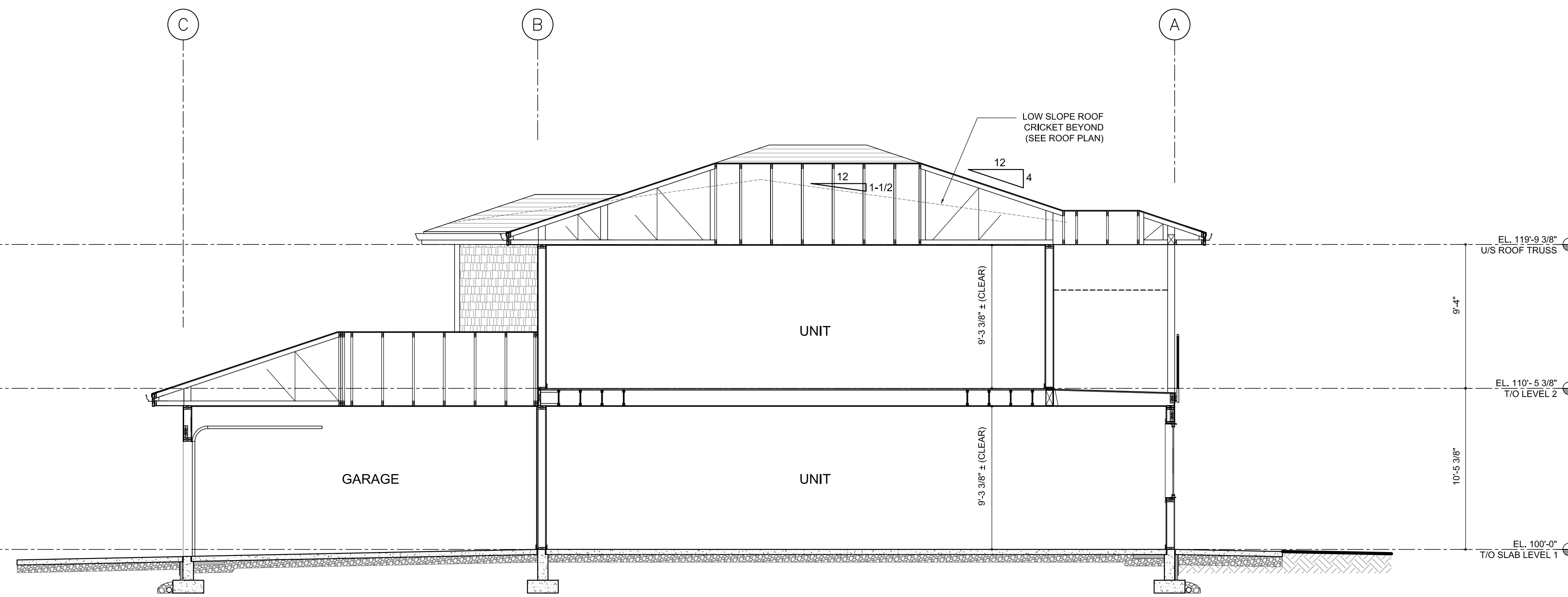
Date	2023-11-20
Job No.	m+m 19-1870
Scale	AS SHOWN
Drawn	SM
Checked	JM

Drawing Title
**BLDG 6 - 3PLEX
RANCHER
LEFT ELEVATION**
scale: 3/16"=1'0"

Drawing Number

A4.34

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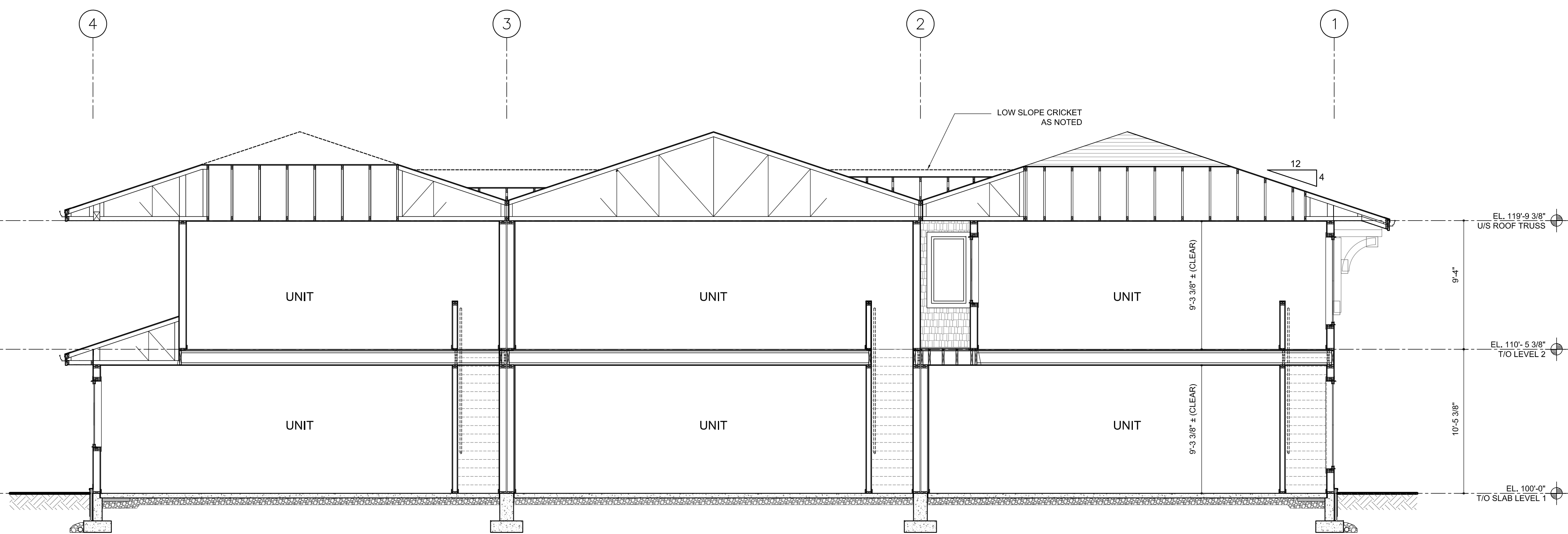
Date	2023-11-20
Job No.	m+m 19-1870
Scale	AS SHOWN
Drawn	SM
Checked	JM

Drawing Title
**BLDG 4
 RANCHER
 BLDG. SECTION**
 scale: 3/16"=1'0"

Drawing Number

A5.31

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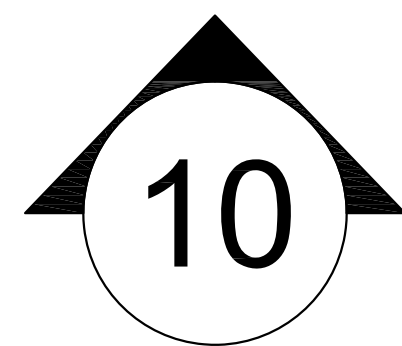
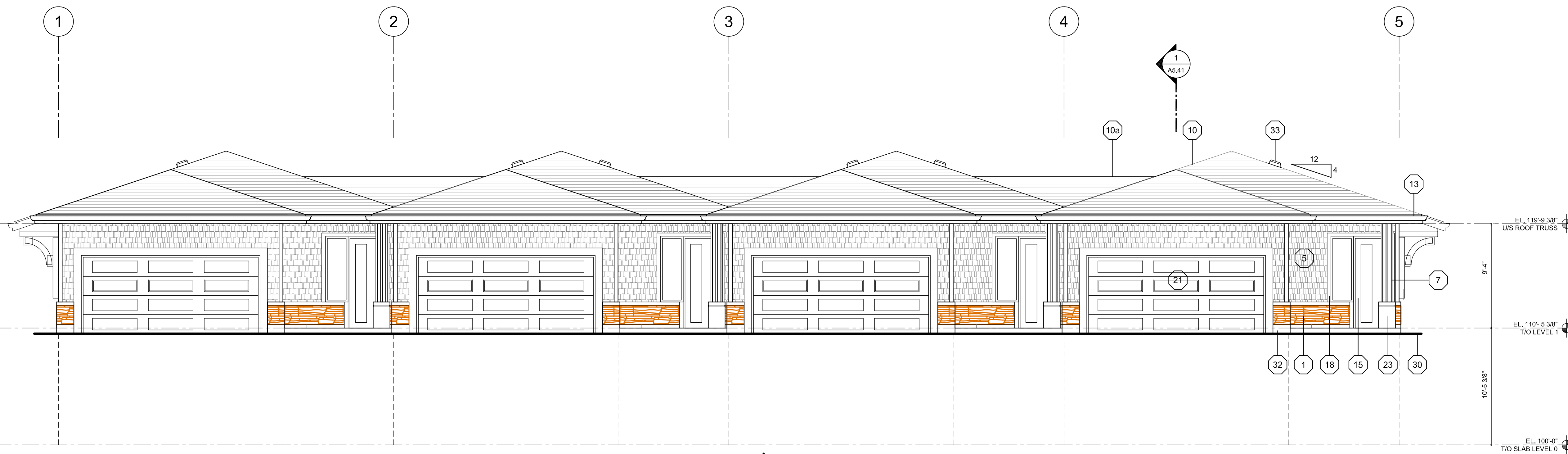
Date	2023-11-20
Job No.	m+m 19-1870
Scale	AS SHOWN
Drawn	SM
Checked	JM

Drawing Title
**BLDG 4
 RANCHER
 BLDG. SECTION**
 scale: 3/16"=1'0"

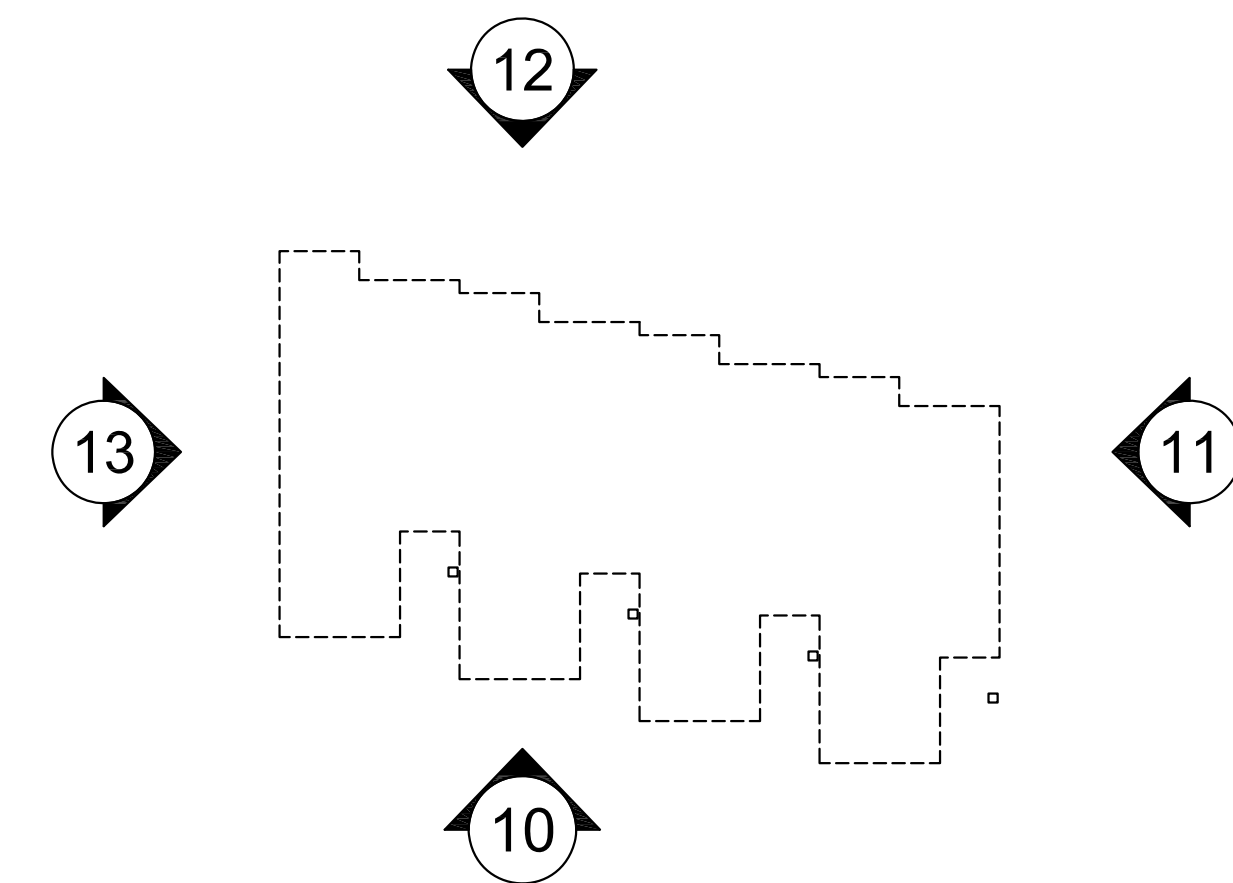
Drawing Number

A5.32

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30 FINISHED GRADES (SEE CIVIL+LANDSCAPE)	22 PAINTED METAL DOOR	14 EXPOSED ARCHITECTURAL CONCRETE C/W SACK RUBBED FINISH / REVEALS	7 GLULAM POST & BEAM WITH EXPOSED PAINTED STEEL BOLTS	ELEVATION KEY NOTES: ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUF.'S STANDARD LINE OF COLOURS.
31 ILLUMINATED SIGNAGE	23 CONCRETE BASE	15 FIBREGLASS DOOR	8 ALUM. GLASS RAILING	
32 CONCRETE FACED RIGID INSULATION	24 CONCRETE RETAINING WALL	16 DECK PRIVACY SCREEN	9 SOLID WOOD / GLULAM WALL MTD. BRACKETS	
33 ROOF VENT	25 ALUM. STOREFRONT WINDOW & DOOR	17 PREFINISHED VENTS	10 LAMINATED FIBREGLASS/ ASPHALT ROOF SHINGLES	
	26 METAL SOFFIT	18 DOOR / WINDOW TRIM	10a LOW SLOPE ASPHALT SHINGLES TO MATCH ROOF SHINGLES	
	27 LIGHT FIXTURE	19 GLULAM POST	11 PAINTED STEEL COLUMN WITH CONCRETE BASE	
	28 SIAMESE CONNECTION	20 ALUM RWL WITH GUTTER	12 PAINTED FIBRE CEMENT TRIM BOARD	2 FIBRE CEMENT VERT. BOARD & BATTEN @ 12" O.C.
	29 WALL MOUNTED INTERCOM. SEE ELEC.	21 PAINTED METAL OH DOOR	13 PREFINISHED METAL GUTTER / FASCIA	3 FIBRE CEMENT HORIZ. LAP SIDING
				4 VINYL WINDOW & DOOR
				5 FIBRE CEMENT HORIZ. STAGGERED SHINGLE SIDING
				6 PREFINISHED SHEET METAL FLASHING



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TOWNHOUSES**
4500-4680 GALLAGHERS DRIVE EAST



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m+m a
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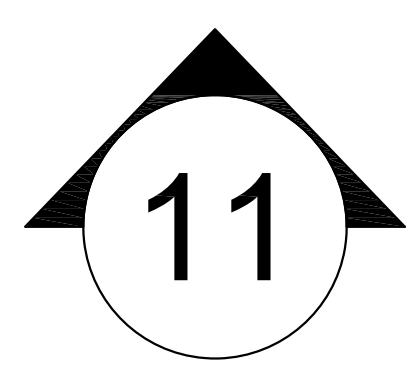
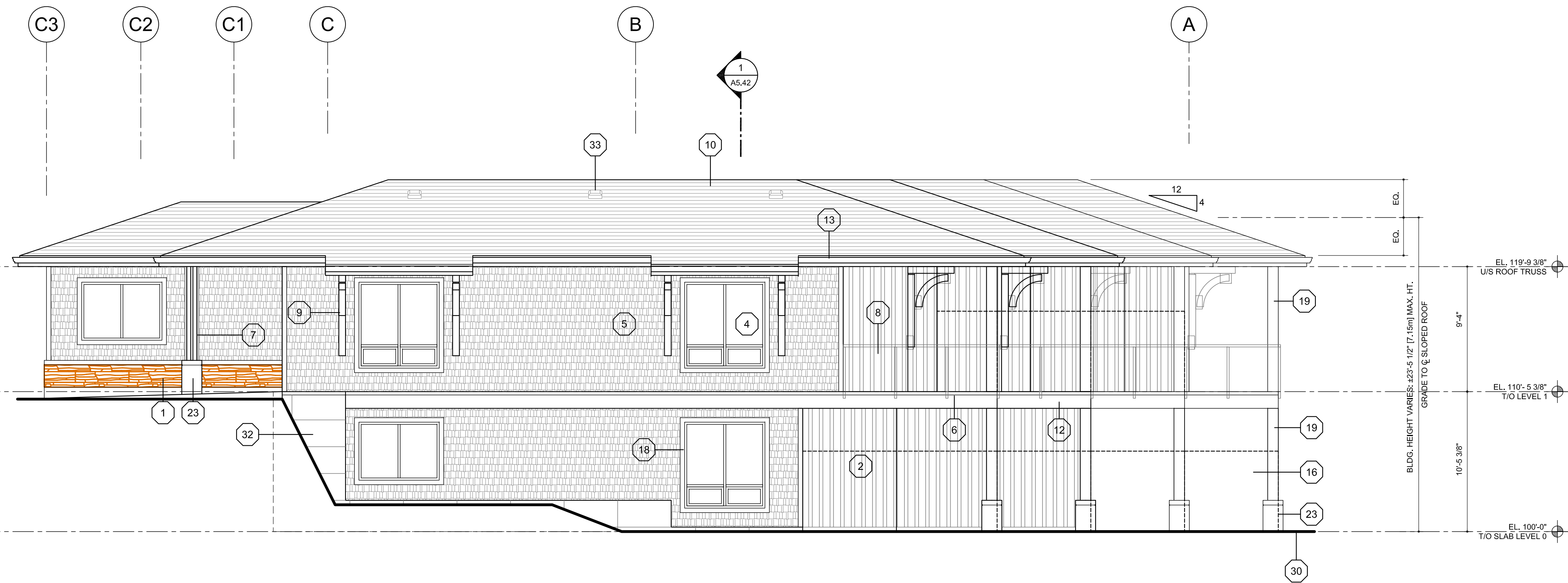
Drawing Title
**BLDG 1,2,3 - 4PLEX
WALKOUT
FRONT ELEVATION**
scale: 3/16"=1'0"

Drawing Number

A4.41

DRAWINGS ARE NOT TO BE SCALED.
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NOTE: SEE A4.01 FOR KEY NOTE LEGEND & FOR ELEVATION KEY PLAN



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Scale	AS SHOWN
Drawn	SM
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Drawing Title
**BLDG 1,2,3 - 4PLEX
WALKOUT
RIGHT ELEVATION**
scale: 3/16"=1'0"

Drawing Number
A4.42
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NOTE: SEE A4.01 FOR KEY NOTE LEGEND & FOR ELEVATION KEY PLAN



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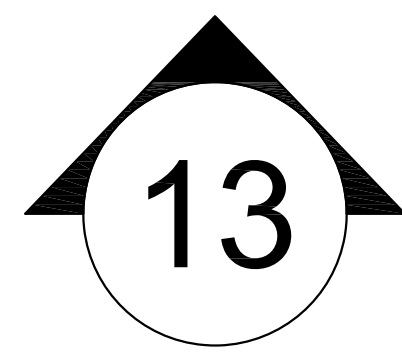
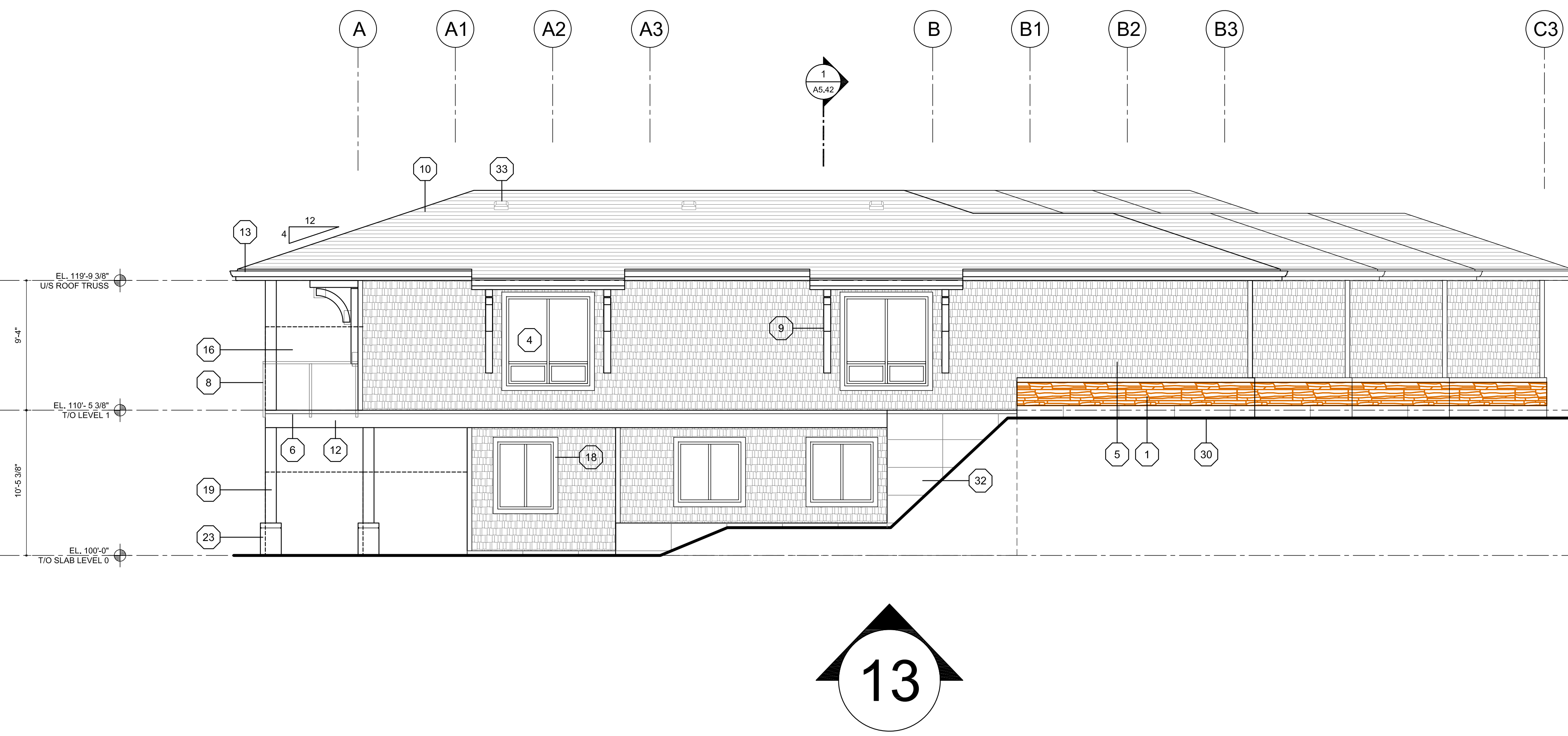
Drawing Title
BLDG 1,2,3 - 4PLEX
WALKOUT
REAR ELEVATION
scale: 3/16"=1'0"

Drawing Number

A4.43

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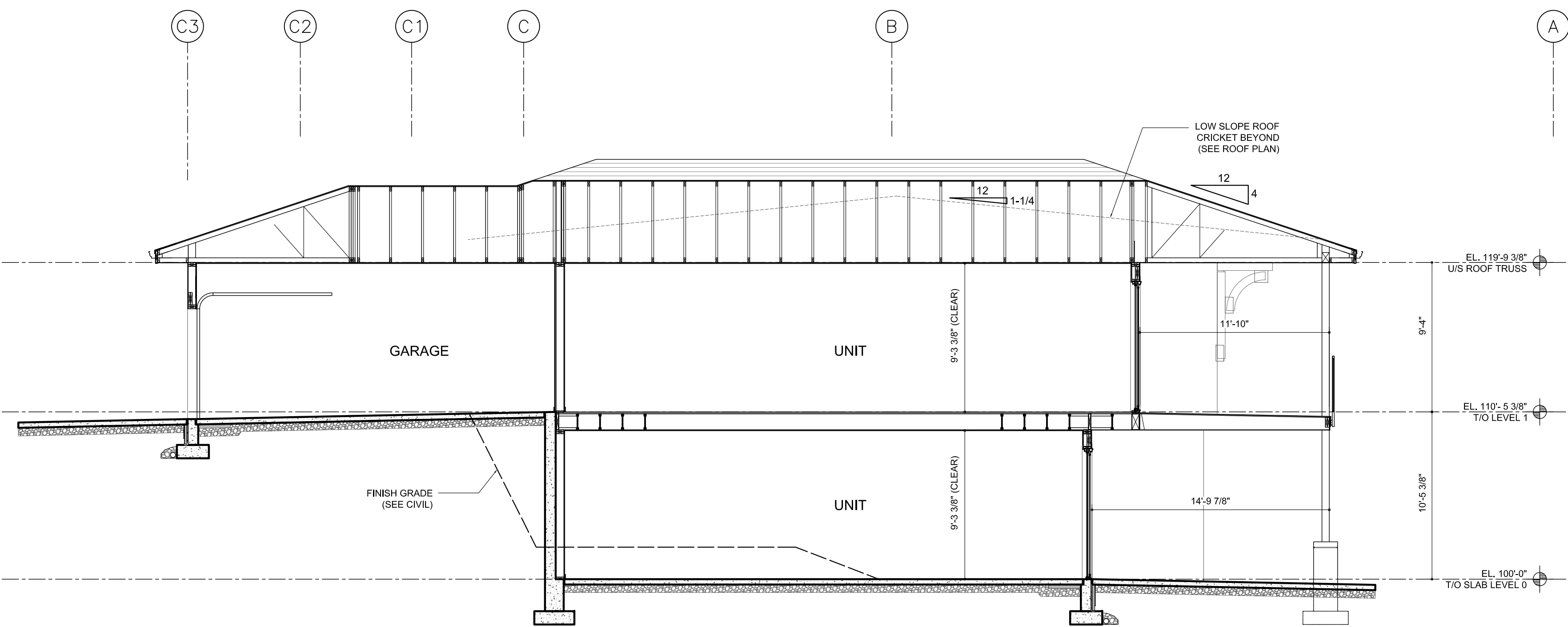


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Checked	JM

Drawing Title
**BLDG 1,2,3 - 4PLEX
WALKOUT
LEFT ELEVATION**
scale: 3/16"=1'0"

Drawing Number
A4.44
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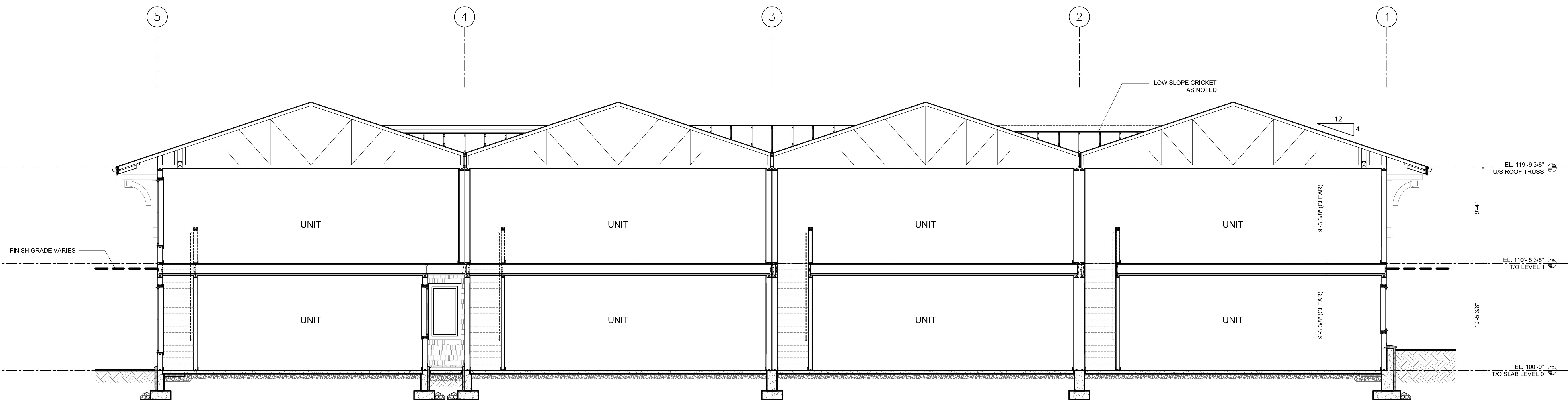
Date	2023-11-20
Job No.	m+m 19-1870
Scale	AS SHOWN
Drawn	SN
Checked	JM

Drawing Title
**BLDG 1,2,3 - 4PLEX
 WALKOUT
 BUILDING SECTION**
 scale: 3/16"=1'0"

Drawing Number

A5.41

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 scale: 3/16"=1'0"

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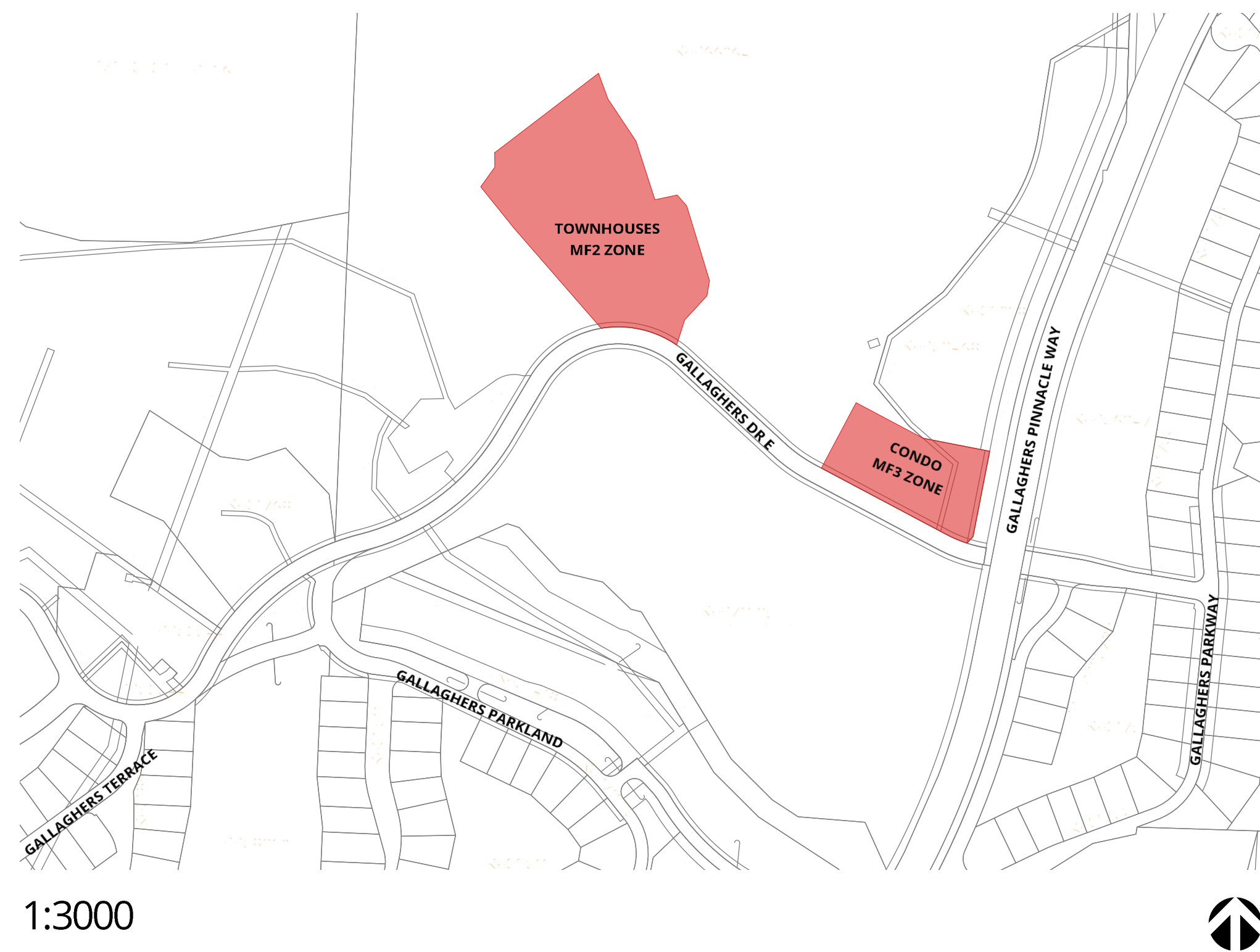
CRC DEVELOPMENTS

PINNACLE MULTI-FAMILY DEVELOPMENT

LANDSCAPE PLAN - RE-ISSUED FOR DEVELOPMENT PERMIT

KELOWNA

NOVEMBER 10, 2023



LIST OF DRAWINGS

- LDP 1 : COVER SHEET
- LDP 2.1: MF2 TOWNHOUSES - LANDSCAPE PLAN
- LDP 2.2: MF3 CONDO - LANDSCAPE PLAN
- LDP 3.1: MF2 TOWNHOUSES - HYDROZONE PLAN
- LDP 3.2: MF3 CONDO - HYDROZONE PLAN

PROJECT NAME: MF2 TOWNHOUSES - PINNACLE MULTI-FAMILY DEVELOPMENT

Landscape Bylaw 12375 (Table 7.2)	Required: MF2 Zone (1 Tree/50m ² or 1 Tree/12 lin.m.)	Proposed	Additional	Compliance (Y/N)
Min. tree amount	Landscape sq.m area = 464m ² /50 = 9 trees (min.) Landscape lin. m setback = 155 l.m/10 = 15 trees (min.)	15 Trees (100% required)	5 Trees	Y
Min. deciduous tree caliper:	Large: 5cm Medium: 4cm Small: 3cm	All deciduous trees = 6cm Caliper	All deciduous trees = 6cm Caliper	Y
Min. coniferous tree height:	250cm	N/A	N/A	Y
Min. ratio between tree size:	Large (L): Min. 50% Medium (M): No min. or max. Small (S): Max. 25%	(L) 8 trees = 54% (M) 4 trees = 26% (S) 3 trees = 20%	(L) 0 Trees (M) 4 Trees (S) 3 Trees	Y
Min. growing medium (planted) area	Min. planted area 464m ² x 75% = 348m ² (L) Tree: Single: 30cu.m Interconnected/trench: 25cu.m (M) Tree: Single: 20cu.m Interconnected/trench: 18cu.m (S) Tree: Single: 15cu.m Interconnected/trench: 12cu.m	Total planted area = 464m ² (L) Tree: Single: 5 trees/30cu.m per tree Interconnected/trench: 3 trees/25cu.m per tree (M) Tree: Single: 4 trees/20cu.m per tree Interconnected/trench: 2 trees/18cu.m per tree (S) Tree: Single: 0 Interconnected/trench: 3 trees/12cu.m per tree	N/A	Y
Min. growing medium volumes per tree			(L) Tree: N/A (M) Tree: 4m ³ per Tree (S) Tree: 4m ³ per Tree	Y
Landscape graded areas (7.2.7)	Lawn: 33% max. Shrubs/groundcover: 50% max Cross slope: 2% min.	Lawn: 33% max. Shrubs/groundcover: 50% max Cross slope: 2% min.	Lawn: 33% max. Shrubs/groundcover: 50% max Cross slope: 2% min.	Y
Fence height	2.0m max.	N/A	N/A	Y
Riparian management area (Y/N)	No, development area not within a riparian management zone			Y
Existing tree retention (Y/N)	No			Y
Surface parking lot over 15 stalls (Y/N)	No, on-site parking count less than 15 stalls.			Y
Comments:	Additional medium street trees to enhance frontage of townhouses and create sense of uniformity. Additional small garden trees to enhance common amenity area in centre island to create shaded areas and enhance public space.			

PROJECT NAME: MF3 CONDO - PINNACLE MULTI-FAMILY DEVELOPMENT

Landscape Bylaw 12375 (Table 7.2)	Required: MF3 Zone (1 Tree/55m ² or 1 Tree/10 lin.m.)	Proposed	Compliance (Y/N)
Min. tree amount	Landscape sq.m area = 486m ² /55 = 9 trees (min.) Landscape lin. m setback = 188 l.m/10 = 19 trees (min.)	4 Existing Trees 15 Proposed Trees	Y
Min. deciduous tree caliper:	Large: 5cm Medium: 4cm Small: 3cm	All deciduous trees = 6cm Caliper	Y
Min. coniferous tree height:	250cm	N/A	Y
Min. ratio between tree size:	Large (L): Min. 50% Medium (M): No min. or max. Small (S): Max. 25%	(L) 9 trees = 60% (M) 3 trees = 20% (S) 3 trees = 20%	Y
Min. growing medium (planted) area	Min. growing medium area 486m ² x 75% = 365m ² (L) Tree: Single: 30cu.m Interconnected/trench: 25cu.m (M) Tree: Single: 20cu.m Interconnected/trench: 18cu.m (S) Tree: Single: 15cu.m Interconnected/trench: 12cu.m	Total growing medium area = 365m ² (L) Tree: Single: 2 trees/30cu.m per tree Interconnected/trench: 7 trees/25cu.m per tree (M) Tree: Single: 1 tree/20cu.m per tree Interconnected/trench: 2 trees/18cu.m per tree (S) Tree: Single: 0 Interconnected/trench: 3 trees/12cu.m per tree	Y
Min. growing medium volumes per tree			Y
Landscape graded areas (7.2.7)	Lawn: 33% max. Shrubs/groundcover: 50% max Cross slope: 2% min.	Lawn: 33% max. Shrubs/groundcover: 50% max Cross slope: 2% min.	Y
Fence height	2.0m max.	N/A	Y
Riparian management area (Y/N)	No, development area not within a riparian management zone		Y
Existing tree retention (Y/N)	Yes, (4) trees existing to be retained. Tree protection measures to be provided per CoK Strd. 31.11.41		Y
Surface parking lot over 15 stalls (Y/N)	No, on-site parking count less than 15 stalls.		Y
Comments:	(4) existing trees and (15) proposed trees included within the total 19 trees to comply with Landscape Bylaw 12375.		

LEGEND:

- PROPOSED TREE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED
- PROPERTY LINE
- SETBACK LINE
- CONCRETE (BY OTHERS)
- ASPHALT (BY OTHERS)
- COMPACTED GRAVEL PATHWAY
- PATIO (BY OTHERS)
- DECORATIVE ROCK MULCH
- ORGANIC BARK MULCH
- HYDROSEEDED AREAS
- EXISTING PLANTING
- SHRUB PLANTING
- PERENNIAL AND GRASS PLANTING AREA
- NATIVE POCKET PLANTING
- HEADERBOARD
- ROOTBARRIER
- BOULDER

- NOTES:**
1. THIS DRAWING TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY AND IS NOT INTENDED FOR CONSTRUCTION.
 2. THE LANDSCAPE DESIGN INDICATED HEREIN IS CONCEPTUAL; IT DEPICTS FORM AND CHARACTER, REFLECTIVE OF LANDSCAPE DEVELOPMENT REQUIREMENTS FOR CoK BYLAW 12375.
 3. ALL PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE MINIMUM STANDARDS SET OUT IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
 4. PLANT MATERIAL SELECTIONS INDICATED HEREIN ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
 5. ALL PLANTING BEDS SHALL HAVE AN APPROVED MULCH.
 6. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A HIGH-EFFICIENCY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

PLANT LIST - ONSITE - TOWNHOUSES						
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (H.L.xW.L.)	SPACING
Trees Deciduous						
5	<i>Acer rubrum</i> 'Frank Jr.'	Redpointe Maple	6cm Cal	B&B	14 x 10m	11m o/c
8	<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal European Hornbeam	6cm Cal	B&B	10 x 7m	n/a
3	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	6cm Cal	B&B	20 x 10m	n/a
4	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6cm Cal	B&B	6 x 4.5m	5m o/c
Shrubs						
	<i>Amelanchier alnifolia</i>	Saskatoon	#02	Potted	1.2 x 0.9m	0.9m o/c
	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	#02	Potted	1.2 x 0.9m	0.9m o/c
	<i>Cornus sericea</i> 'Kelsey'	Kelsey Dogwood	#02	Potted	0.6 x 0.6m	1.5m o/c
	<i>Cornus stolonifera</i> 'Arctic Fire'	Red Osier Dogwood	#02	Potted	1.2 x 1.2m	1.2m o/c
	<i>Mahonia aquifolium</i>	Oregon Grape	#02	Potted	1.4 x 1.5m	1.5m o/c
	<i>Mahonia repens</i>	Creeping Oregon Grape	#02	Potted	0.6 x 0.9m	0.9m o/c
	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Common Ninebark	#02	Potted	1.2 x 1.2m	1.2m o/c
	<i>Pinus mugo</i> 'Slowmound'	Slowmound Mugo Pine	#02	Potted	0.75 x 1m	1m o/c
	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	#02	Potted	1 x 1.8m	1.8m o/c
	<i>Rosa woodsii</i> 'Kimberley'	Kimberley Wild Rose	#02	Potted	0.9 x 1.3m	1.3m o/c
	<i>Symphoricarpos albus</i>	Snowberry	#02	Potted	1.8 x 1.8m	1.8m o/c
	<i>Syringa pubescens</i> subsp. <i>patula</i> 'Miss Kim'	Dwarf Korean Lilac	#02	Potted	1.8 x 1.8m	1.8m o/c
	<i>Taxus x media</i> 'Hicksii'	Hicks Yew	#02	Potted	3 x 1.2m	1.2m o/c
Ornamental Grasses						
	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#01	Potted	1.5 x 1.2m	1.2m o/c
	<i>Deschampsia caespitosa</i> 'Goldtau'	Gold Dew Tufted Hair Grass	#01	Potted	0.75 x 0.75m	0.75m o/c
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#01	Potted	1 x 0.9m	0.9m o/c
	<i>Miscanthus sinensis</i> 'Morning Light'	Variiegated Maiden Grass	#01	Potted	1.5 x 1m	1m o/c
	<i>Panicum virgatum</i> 'Rostrathbusch'	Red Switch Grass	#01	Potted	1.5 x 0.9m	0.9m o/c
Perennials						
	<i>Achillea filipendulina</i> 'Gold Plate'	'Gold Plate' Yarrow	#01	Potted	1.2 x 0.9m	0.9m o/c
	<i>Aster frikartii</i> 'Manch'	Frikart's Aster	#01	Potted	1.2 x 0.9m	0.9m o/c
	<i>Eupatorium dubium</i> 'Baby Joe'	Dwarf Joe Pye Weed	#01	Potted	0.6 x 0.6m	0.6m o/c
	<i>Nepeta x jaassenii</i> 'Walker's Low'	Walker's Low Catmint	#01	Potted	0.6 x 0.9m	0.9m o/c
	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	#01	Potted	0.6 x 0.6m	0.6m o/c
	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black Eyed Susan	#01	Potted	0.75 x 0.6m	0.6m o/c
Bulbs						
	<i>Allium sphaerocephalon</i>	Drumstick Allium			3 bulbs per 1.5m2	

PRECEDENT IMAGES:



LEGEND:

- PROPOSED TREE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED
- PROPERTY LINE
- SETBACK LINE
- CONCRETE (BY OTHERS)
- ASPHALT (BY OTHERS)
- COMPACTED GRAVEL PATHWAY
- PATIO (BY OTHERS)
- DECORATIVE ROCK MULCH
- ORGANIC BARK MULCH
- HYDROSEEDED AREAS
- EXISTING PLANTING
- SHRUB PLANTING
- PERENNIAL AND GRASS PLANTING AREA
- NATIVE POCKET PLANTING
- HDR
- ROOTBARRIER
- BOULDER
- EXISTING SOD
- SOD PLANTING

- NOTES:**
1. THIS DRAWING TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY AND IS NOT INTENDED FOR CONSTRUCTION.
 2. THE LANDSCAPE DESIGN INDICATED HEREIN IS CONCEPTUAL; IT DEPICTS FORM AND CHARACTER, REFLECTIVE OF LANDSCAPE DEVELOPMENT REQUIREMENTS FOR CoK BYLAW 12375.
 3. ALL PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE MINIMUM STANDARDS SET OUT IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).
 4. PLANT MATERIAL SELECTIONS INDICATED HEREIN ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.
 5. ALL PLANTING BEDS SHALL HAVE AN APPROVED MULCH.
 6. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A HIGH-EFFICIENCY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

PLANT LIST - ONSITE - CONDOS						
QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	Mature Plant Size (Ht.xWd.)	SPACING
Trees Deciduous						
4	<i>Acer rubrum</i> 'Frank Jr.'	Redpointe Maple	6cm Cal	B&B	14 x 10m	8m o/c
3	<i>Acer palmatum</i> 'Bloodgood'	Bloodgood Japanese Maple	6cm Cal	B&B	6 x 6m	n/a
3	<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal European Hornbeam	6cm Cal	B&B	10 x 7m	9.5m o/c
1	<i>Ginkgo biloba</i>	Maidenhair Tree	6cm Cal	B&B	15 x 10m	n/a
4	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	6cm Cal	B&B	20 x 10m	9m o/c
Shrubs						
	<i>Amelanchier alnifolia</i>	Saskatoon	#02	Potted	1.2 x 0.9m	0.9m o/c
	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	#02	Potted	1.2 x 0.9m	0.9m o/c
	<i>Cornus stolonifera</i> 'Arctic Fire'	Red Osier Dogwood	#02	Potted	1.2 x 1.2m	1.2m o/c
	<i>Mahonia aquifolium</i>	Oregon Grape	#02	Potted	1.4 x 1.5m	1.5m o/c
	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Common Ninebark	#02	Potted	1.2 x 1.2m	1.2m o/c
	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	#02	Potted	1 x 1.8m	1.8m o/c
	<i>Rosa woodsii</i> 'Kimberley'	Kimberley Wild Rose	#02	Potted	0.9 x 1.3m	1.3m o/c
	<i>Symphoricarpos albus</i>	Snowberry	#02	Potted	1.8 x 1.8m	1.8m o/c
	<i>Syringa pubescens subsp. patula</i> 'Miss Kim'	Dwarf Korean Lilac	#02	Potted	1.8 x 1.8m	1.8m o/c
Ornamental Grasses						
	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#01	Potted	1.5 x 1.2m	1.2m o/c
	<i>Deschampsia caespitosa</i> 'Goldtau'	Gold Dew Tufted Hair Grass	#01	Potted	0.75 x 0.75m	0.75m o/c
Perennials						
	<i>Achillea filipendulina</i> 'Gold Plate'	'Gold Plate' Yarrow	#01	Potted	1.2 x 0.9m	0.9m o/c
	<i>Aster frikartii</i> 'Monch'	Frikart's Aster	#01	Potted	1.2 x 0.9m	0.9m o/c
	<i>Eupatorium dubium</i> 'Baby Joe'	Dwarf Joe Pye Weed	#01	Potted	0.6 x 0.6m	0.6m o/c
	<i>Nepeta x faassenii</i> 'Walker's Low'	Walker's Low Catmint	#01	Potted	0.6 x 0.9m	0.9m o/c
	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	#01	Potted	0.6 x 0.6m	0.6m o/c
	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black Eyed Susan	#01	Potted	0.75 x 0.6m	0.6m o/c

PRECEDENT IMAGES:



LEGEND:

- LOW WATER REQUIREMENTS
GRASSES / PERENNIALS
- MEDIUM WATER REQUIREMENTS SHRUBS
- HIGH WATER REQUIREMENTS SOD



PINNACLE MULTI-FAMILY DEVELOPMENT

CRC DEVELOPMENTS



SCALE: 1 : 300

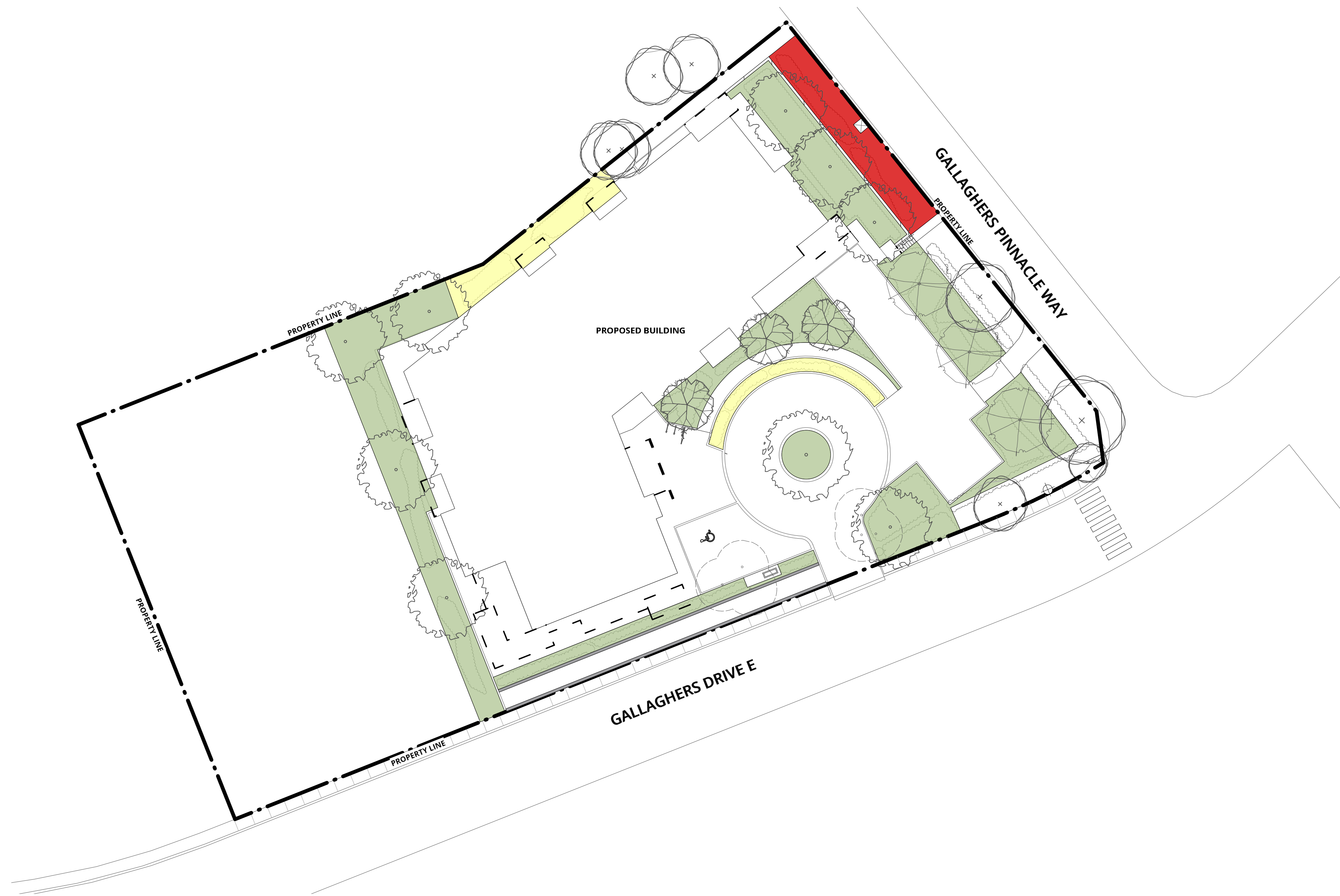
ISSUED FOR :		
NO.	DESCRIPTION	DATE
0	RE-ISSUED FOR DEVELOPMENT PERMIT	2023-11-06

MF2 TOWNHOUSES -
HYDROZONE PLAN
LDP 3.1

PROJECT NO. : 21157 DATE : 2021-12-21

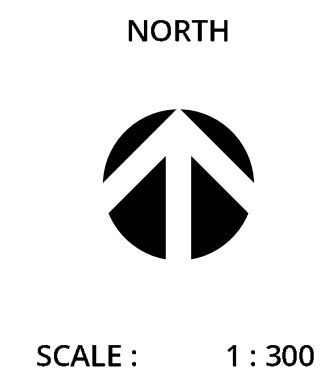
LEGEND:

- LOW WATER REQUIREMENTS
GRASSES / PERENNIALS
- MEDIUM WATER REQUIREMENTS SHRUBS
- HIGH WATER REQUIREMENTS SOD



PINNACLE MULTI-FAMILY DEVELOPMENT

CRC DEVELOPMENTS



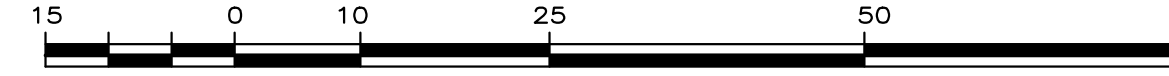
ISSUED FOR :		
0	RE-ISSUED FOR DEVELOPMENT PERMIT	2023-11-06
NO.	DESCRIPTION	DATE

PRELIMINARY SUBDIVISION PLAN OF PARTS OF
 LOT A AND AN UNDIVIDED 1/24th SHARE IN
 LOT G PLAN KAP53116 SECTIONS 1 AND 12
 TOWNSHIP 26 ODYD PLAN KAP66064

PLAN EPP_____

PRELIMINARY

BCGS 82E.084



THE INTENDED PLOT SIZE OF THIS PLAN IS 864mm IN WIDTH BY 560mm IN HEIGHT (D SIZE) WHEN PLOTTED AT A SCALE OF 1:600

PRELIMINARY

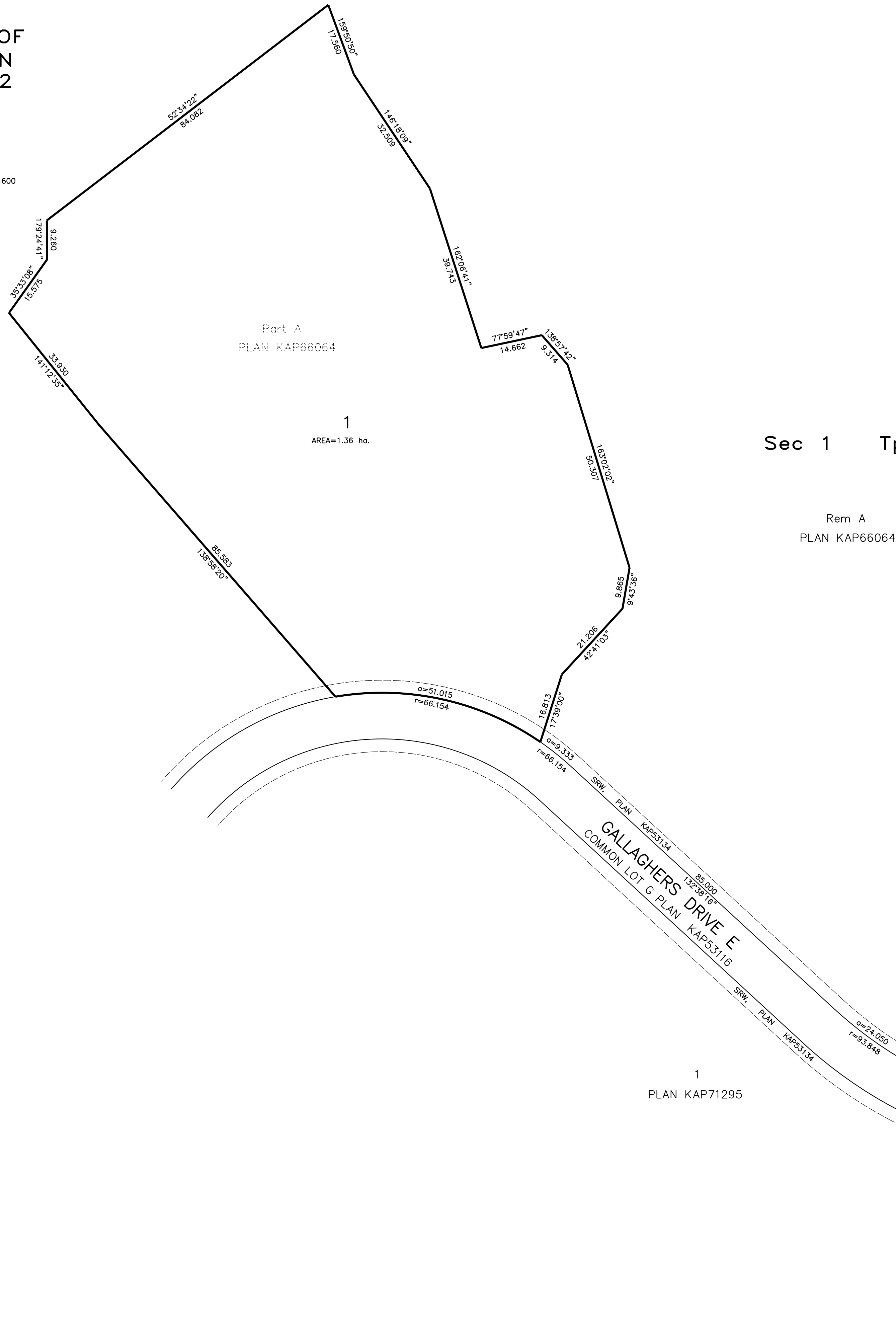
DATE: NOVEMBER 22, 2023

CLIENT: CRC CANADIAN RETIREMENT CORP.

NOTE: ACCESS TO LOT 1 WILL BE THROUGH
 COMMON LOT G, PLAN KAP53116 PURSUANT TO BC
 REGULATION 334/79. LOT 1 WILL DERIVE A 1/72
 SHARE IN COMMON LOT G, PLAN KAP53116.

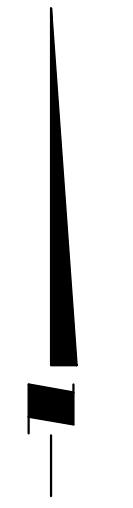
NOTE: ACCESS TO LOT 2 WILL BE THROUGH
 COMMON LOT G, PLAN KAP53116 PURSUANT TO BC
 REGULATION 334/79. LOT 2 WILL DERIVE A 1/72
 SHARE IN COMMON LOT G, PLAN KAP53116.

NOTE: LOT AREAS AND DIMENSIONS ARE
 SUBJECT TO FINAL LEGAL SURVEY.



Sec 1 Tp 26

Rem A
 PLAN KAP66064



PRELIMINARY

LEGEND

INTEGRATED SURVEY AREA NO. 4, CITY OF KELOWNA,
 NAD83 (CSRS) 4.0.0.BC.1

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS
 BETWEEN GEODETIC CONTROL MONUMENTS [LIST
 CONTROL MONUMENTS] AND ARE REFERRED TO THE
 CENTRAL MERIDIAN OF UTM ZONE 11.

THE UTM COORDINATES AND ESTIMATED ABSOLUTE
 ACCURACY ACHIEVED ARE DERIVED FROM MASCOOT
 PUBLISHED COORDINATES AND STANDARD DEVIATIONS FOR
 GEODETIC CONTROL MONUMENTS [LIST CONTROL
 MONUMENTS].

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL
 DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE
 GRID DISTANCES, MULTIPLY GROUND-LEVEL DISTANCES
 BY THE AVERAGE COMBINED FACTOR OF 0.9999
 WHICH HAS BEEN DERIVED FROM GEODETIC CONTROL
 MONUMENTS [LIST CONTROL MONUMENTS].

THIS PLAN LIES WITHIN THE REGIONAL DISTRICT OF
 CENTRAL OKANAGAN.

ACCESS BY COMMON LOT.

THIS PLAN LIES WITHIN THE JURISDICTION OF THE
 APPROVING OFFICER FOR THE CITY OF KELOWNA.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS
 COMPLETED ON THE xx DAY OF xxxx, 202x
 CAMERON HENRY, BCLS 857

Ferguson Land Surveying & Geomatics Ltd.
 B.C. AND CANADA LAND SURVEYORS
 404-1630 PANDOSY STREET, KELOWNA, B.C.
 TELEPHONE (250) 763-3115 FAX (250) 763-0321